

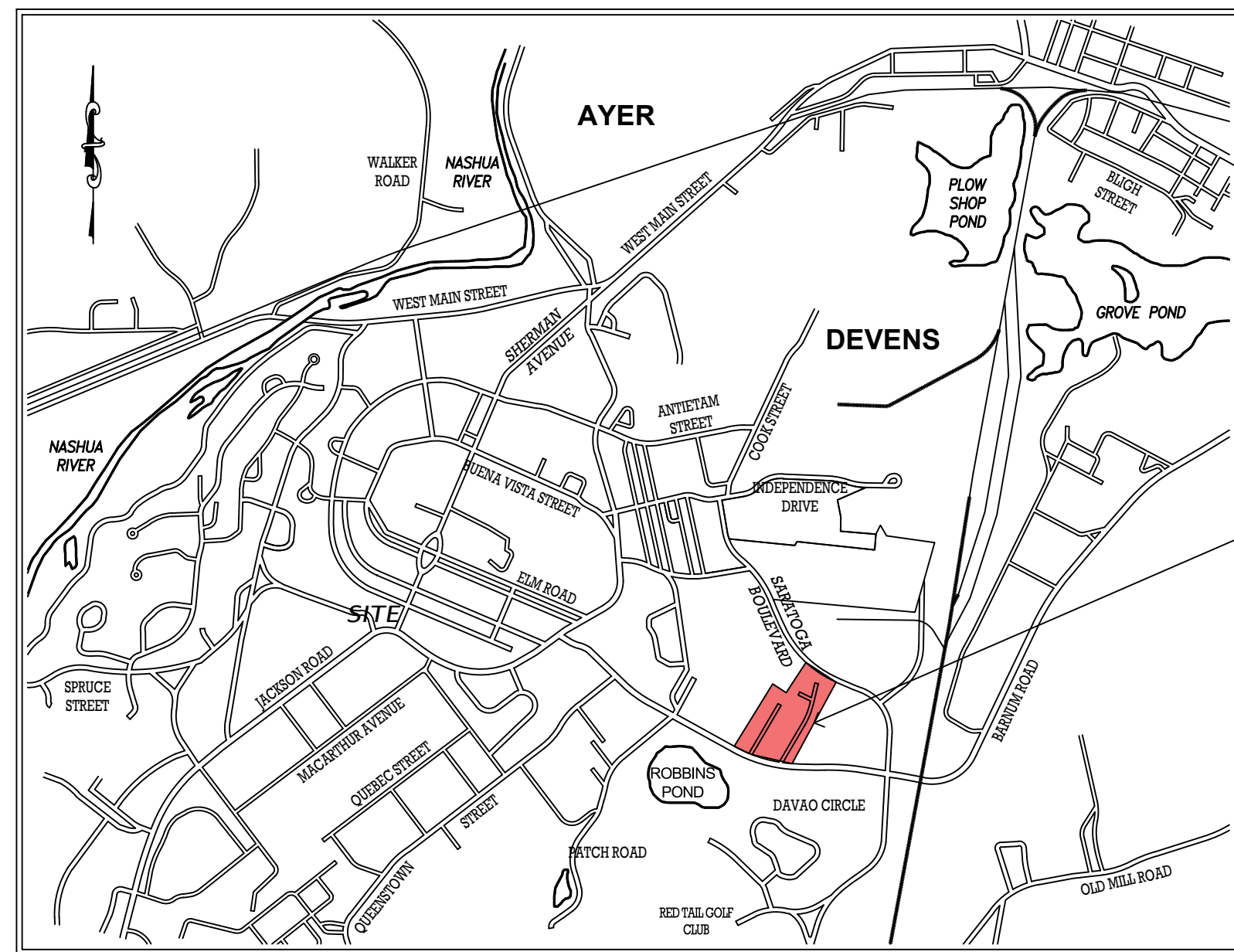
PROJECT: *PROPOSED BUILDING*
35 SARATOGA BOULEVARD
DEVENS, MASSACHUSETTS

APPLICANT: *35 SARATOGA PROPERTY OWNER, LLC*
133 PEARL STREET
BOSTON, MA 02110

CIVIL ENGINEER: *EUGENE T. SULLIVAN, INC.*
230 LOWELL STREET- SUITE 2A
WILMINGTON, MASSACHUSETTS

LAND SURVEYOR: *DANA F. PERKINS INC.*
1057 EAST STREET
TEWKSBURY, MASSACHUSETTS

LANDSCAPE ARCHITECT: *JAMES K. EMMANUEL ASSOCIATES*
22 CARLTON ROAD
MARBLEHEAD, MASSACHUSETTS



35 SARATOGA BOULEVARD SITE

LOCUS PLAN

GENERAL NOTES:

- THE CONTRACTOR SHALL NOTIFY "DIG-SAFE" [888.344.7233] AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- THE UNDERGROUND UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED BY FIELD SURVEY AND EXISTING DRAWINGS. THIS ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN USE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
- THESE SITE PLANS ARE BASED UPON AN ON-THE-GROUND TOPOGRAPHICAL SURVEY. NO ATTEMPT WAS MADE IN PREPARING THESE PLANS TO ASCERTAIN THE LOCATION OF NON-VISUALLY APPARENT SUBSURFACE UTILITIES AND STRUCTURES OR CONDITIONS.
- THESE PLANS HAVE BEEN PREPARED FOR THIS CLIENT AND THIS PROJECT. REPRODUCTION IN WHOLE OR IN PART FOR OTHER PURPOSES IS STRICTLY PROHIBITED.
- THESE DRAWINGS SHALL NOT BE SCALED. IF CLARIFICATION OF INTENT IS REQUIRED, THE CONTRACTOR SHALL REQUEST CLARIFICATION PRIOR TO CONTINUING HIS WORK.
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO INITIATION OF THE WORK AND SHALL NOTIFY THE CIVIL ENGINEER OF RECORD AND THE OWNER OF ANY DISCREPANCIES WITH THE SITE CONDITIONS OR PROPOSED CONSTRUCTION IMMEDIATELY UPON DISCOVERY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING PROPOSED CONSTRUCTION WITH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS AND LICENSES.
- ALL WORK SHALL CONFORM TO ALL LOCAL AND STATE REGULATORY AGENCIES AND UTILITY REQUIREMENTS.
- UPON ENTERING THE SITE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL, DEWATERING AND SHALL UNDERTAKE ALL MEASURES TO PROTECT WETLANDS, THE DRAINAGE SYSTEMS, ADJACENT PROPERTIES AND STREETS FROM SILTATION, STORMWATER RUNOFF, AND DUST DURING THE ENTIRE PROJECT DURATION.
- THE LIMIT OF WORK SHALL BE AS DESIGNATED ON THESE PLANS, AND/OR THE EDGE OF PROPOSED GRADING AND/OR THE PROPERTY LINES IF NOT INDICATED OTHERWISE.
- THE CONTRACTOR SHALL CLEARLY MARK THE LIMITS OF WORK PRIOR TO THE START OF CONSTRUCTION.
- MATERIALS IMPORTED TO THE SITE SHALL BE FREE OF HAZARDOUS WASTE AND NOXIOUS MATERIALS, STORED AS DESIGNATED AND SHALL NOT HAMPER THE SITE ACTIVITIES.
- ALL NECESSARY POLICE DETAILS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE DETAILS WITH THE LOCAL POLICE DEPARTMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EXISTING UTILITIES IN WORKING ORDER AND FREE FROM DAMAGE DURING THE ENTIRE DURATION OF THE PROJECT. ALL COSTS RELATED TO THE REPAIR OF DAMAGED UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION AT NO ADDITIONAL COSTS TO THE OWNER.
- THE CONTRACTOR SHALL UTILIZE ALL PRECAUTIONS AND MEASURES NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC, ALL PERSONNEL AND PROPERTY DURING CONSTRUCTION IN ACCORDANCE WITH OSHA STANDARDS, INCLUDING BARRICADES, SAFETY LIGHTING, CONES, POLICE DETAILS, AND/OR FLAGMEN AS NECESSARY.
- ALL TRENCHING WORK WITHIN A ROADWAY SHALL BE COORDINATED WITH THE PROPER LOCAL AND/OR STATE AGENCY. TRENCH SAFETY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR DOING THE TRENCH WORK, INCLUDING ANY LOCAL AND/OR STATE PERMITS REQUIRED FOR THE TRENCHWORK.
- ALL TRENCHWORK WITHIN EXISTING PAVEMENT SHALL BE SAWCUT PER THE APPLICABLE DETAILS. TRENCHWORK BACKFILL AND COMPACTION SHALL HAVE MAXIMUM 8" LIFTS. THE CONTRACTOR SHALL BE REQUIRED TO REMOVE THE PATCH AND REPAVE AFTER ONE COMPLETE 12-MONTH CYCLE IF SETTLEMENT OCCURS DUE TO INADEQUATE COMPACTION.
- SITE LAYOUT SURVEY REQUIRED FOR CONSTRUCTION WILL BE PROVIDED BY THE CONTRACTOR AND SHALL BE CONDUCTED BY A MASSACHUSETTS REGISTERED PROFESSIONAL LAND SURVEYOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS DURING CONSTRUCTION.
- CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS REGARDING NOISE, VIBRATION, DUST, SEDIMENTATION CONTAINMENT, TRENCHWORK AND ROADWAY WORK.
- SOLID WASTES SHALL BE COLLECTED AND STORED IN A SECURED DUMPSTER. THE DUMPSTER SHALL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS.
- THE CONTRACTOR SHALL RESTORE ALL SURFACES EQUAL TO THEIR ORIGINAL CONDITION AFTER CONSTRUCTION IS COMPLETE. AREAS NOT DISTURBED BY CONSTRUCTION SHALL BE LEFT NATURAL. THE CONTRACTOR SHALL TAKE CARE TO PREVENT DAMAGE TO SHRUBS, TREES AND OTHER LANDSCAPING AND/OR NATURAL FEATURES.
- LEDGE OR BOULDER EXCAVATION IS ANTICIPATED FOR THIS SITE. THE CONTRACTOR SHALL PROVIDE A UNIT COST PER CUBIC YARD FOR LEDGE AND/OR BOULDER REMOVAL. LEDGE AND/OR BOULDERS LESS THAN ONE CUBIC YARD IN SIZE WILL NOT BE CONSIDERED PAYABLE ROCK.

DEVENS UXO PROTOCOL AND SOILS POLICY:

- THIS PROPERTY IS SUBJECT TO THE DEVENS UXO PROTOCOL AND PROCEDURES.
 - WHEREAS DEVENS IS A FORMER ACTIVE MILITARY INSTALLATION, IT IS POSSIBLE THAT UNEXPLODED ORDNANCE ("UXO") AND/OR MUNITIONS OF EXPLOSIVE CONCERN ("MEC") MAY EXIST AND/OR BE ENCOUNTERED AT DEVENS. PRIOR TO PERFORMING ANY INTRUSIVE SOIL WORK, ALL PERSONNEL ONSITE MUST VIEW A UXO/MEC INSTRUCTIONAL VIDEO BRIEFING INTENDED TO INSTRUCT ONSITE PERSONNEL AS TO HOW TO VISUALLY RECOGNIZE UNEXPLODED ORDNANCE ("UXO") AND/OR MUNITIONS OF EXPLOSIVE CONCERN ("MEC") WHICH COULD BE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES AND PROVIDING INSTRUCTION OF THE PROCEDURES TO BE FOLLOWED IF A POTENTIAL UXO/MEC IS ENCOUNTERED. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING VIEWING OF THE VIDEO BY ALL PERSONNEL (BOTH CONTRACTOR AND SUBCONTRACTORS) WHO WILL BE EXCAVATING (EITHER BY MACHINE OR HAND TOOLS), WILL BE WORKING WITHIN AN EXCAVATED AREA OR WHO WILL BE OVERSEEING OR SUPERVISING EITHER. ARRANGEMENTS CAN BE MADE FOR VIEWING OF THE INSTRUCTIONAL VIDEO BY CONTACTING THE DEVENS FIRE DEPARTMENT [978.772.4600] LOCATED AT 182 JACKSON ROAD, DEVENS, MA. CONTACT FIRE DEPARTMENT TO SCHEDULE THE VIEWING TO AVOID ANY DELAYS IN THE CONTRACTOR'S PROPOSED CONSTRUCTION SCHEDULE.
 - IF AN ORDNANCE IS FOUND OR SUSPECTED, THE CONTRACTOR SHALL FOLLOW THE FOLLOWING PROCEDURES:
 - DO NOT TOUCH
 - STOP ALL OPERATIONS IN THE AREA OF THE ITEM
 - SHUT OFF ALL EQUIPMENT IN THE AREA OF THE ITEM
 - EVACUATE THE AREA
 - CALL DEVENS DISPATCH AT 978.772.7200
 - DISPATCH WILL NOTIFY THE APPROPRIATE EMERGENCY AND PUBLIC SAFETY PERSONNEL INCLUDING NOTIFICATION OF THE ARMY UXO RESPONSE COORDINATOR.
 - STATE POLICE, IN CONJUNCTION WITH THE DEVENS FIRE CHIEF AND THE US ARMY WILL DETERMINE THE COURSE OF ACTION TO BE FOLLOWED REGARDING THE RELOCATING, REMOVING, AND/OR DESTROYING OF FOUND UXO UPON FURTHER INVESTIGATION OF THE ITEM.
 - THE CONTRACTOR WILL BE NOTIFIED WHEN PERSONNEL CAN RETURN TO THE AREA AND/OR WHEN AND WHERE OPERATION OF EQUIPMENT CAN RESUME.
- NO SOILS ARE TO LEAVE THE SITE AS PART OF THIS PROJECT CONSISTENT WITH THE DEVENS SOIL MANAGEMENT POLICY. IF SOILS MUST BE REMOVED FROM THE SITE THEN PRIOR TO REMOVING ANY SOILS OFF-SITE (WHETHER IN DEVENS OR OUTSIDE OF DEVENS) THE APPLICANT/OWNER MUST CONSULT AND COORDINATE WITH THE DEVENS ENVIRONMENTAL MANAGER AND MASS DEP. THE PROTOCOL FOR REMOVAL IS AS FOLLOWS:

https://www.devsmac.com/development/Devens_Soil_Mgmt_and_UXO_Policies_and_Procedures.pdf

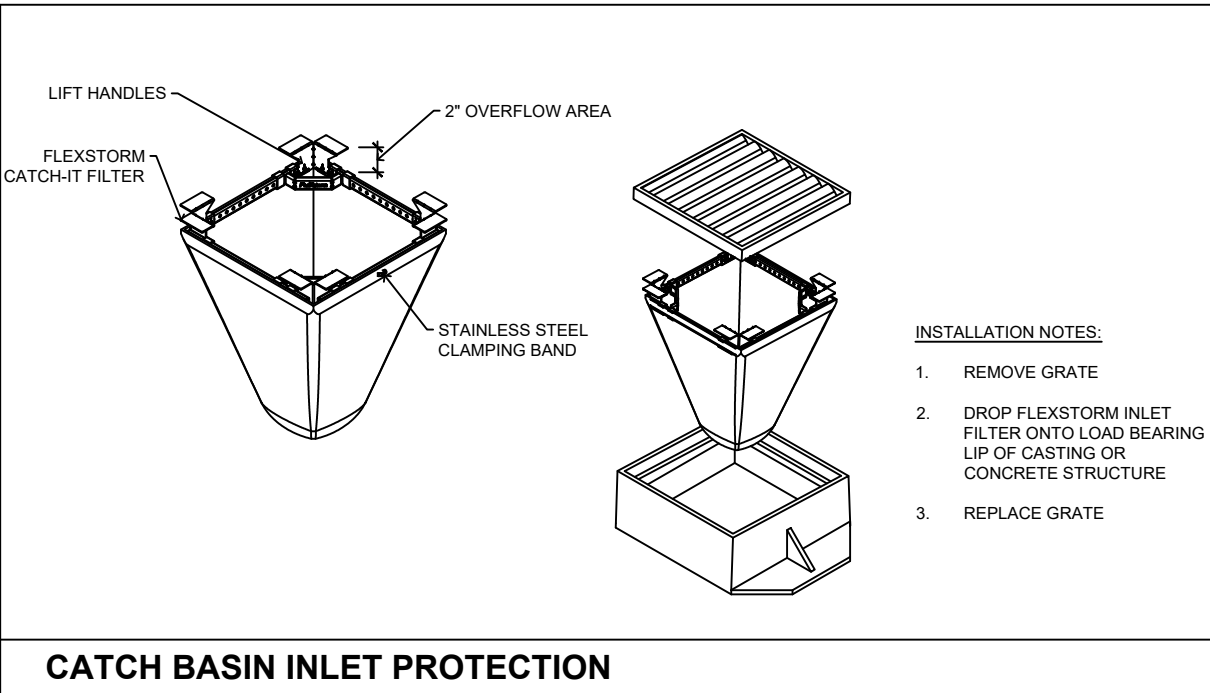
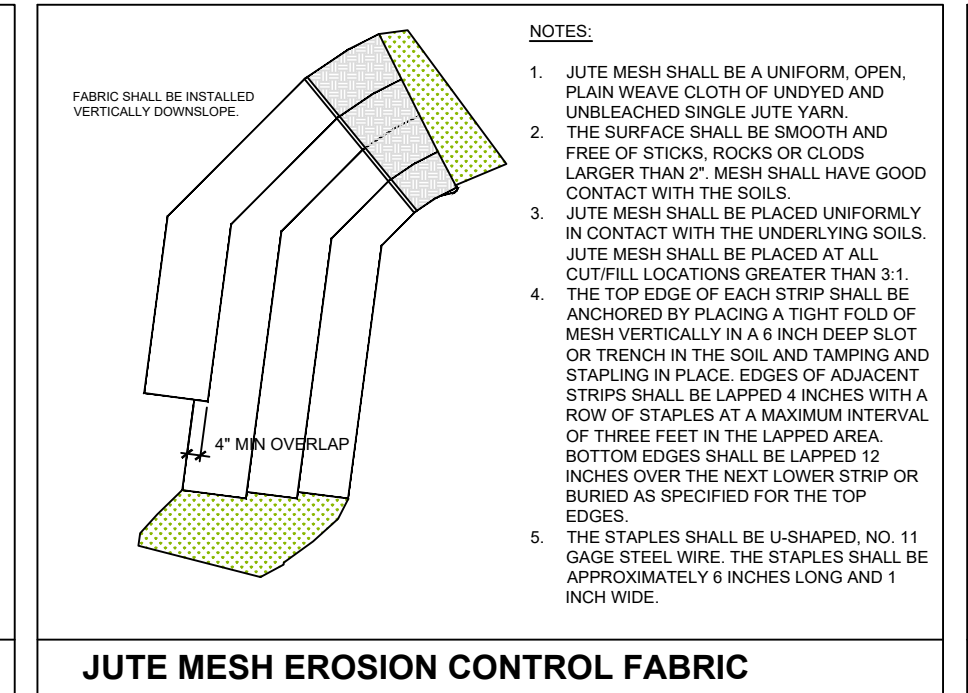
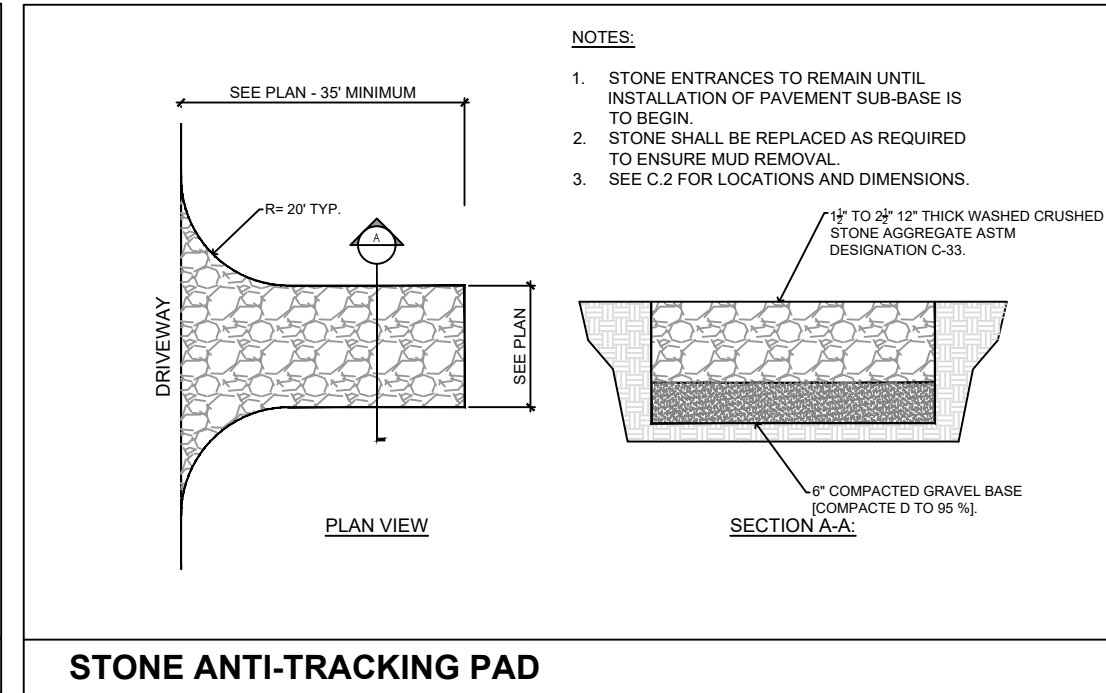
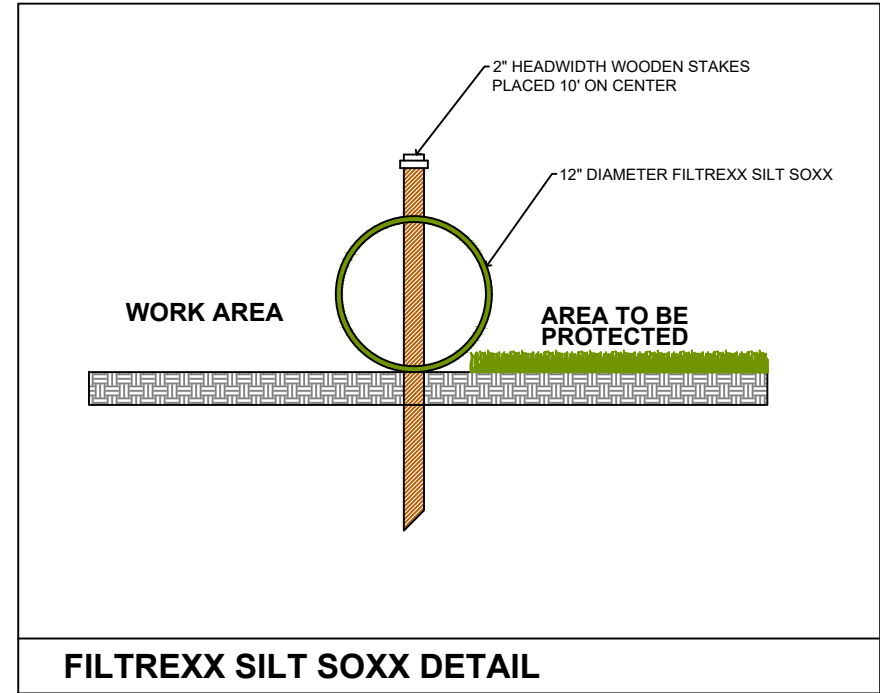
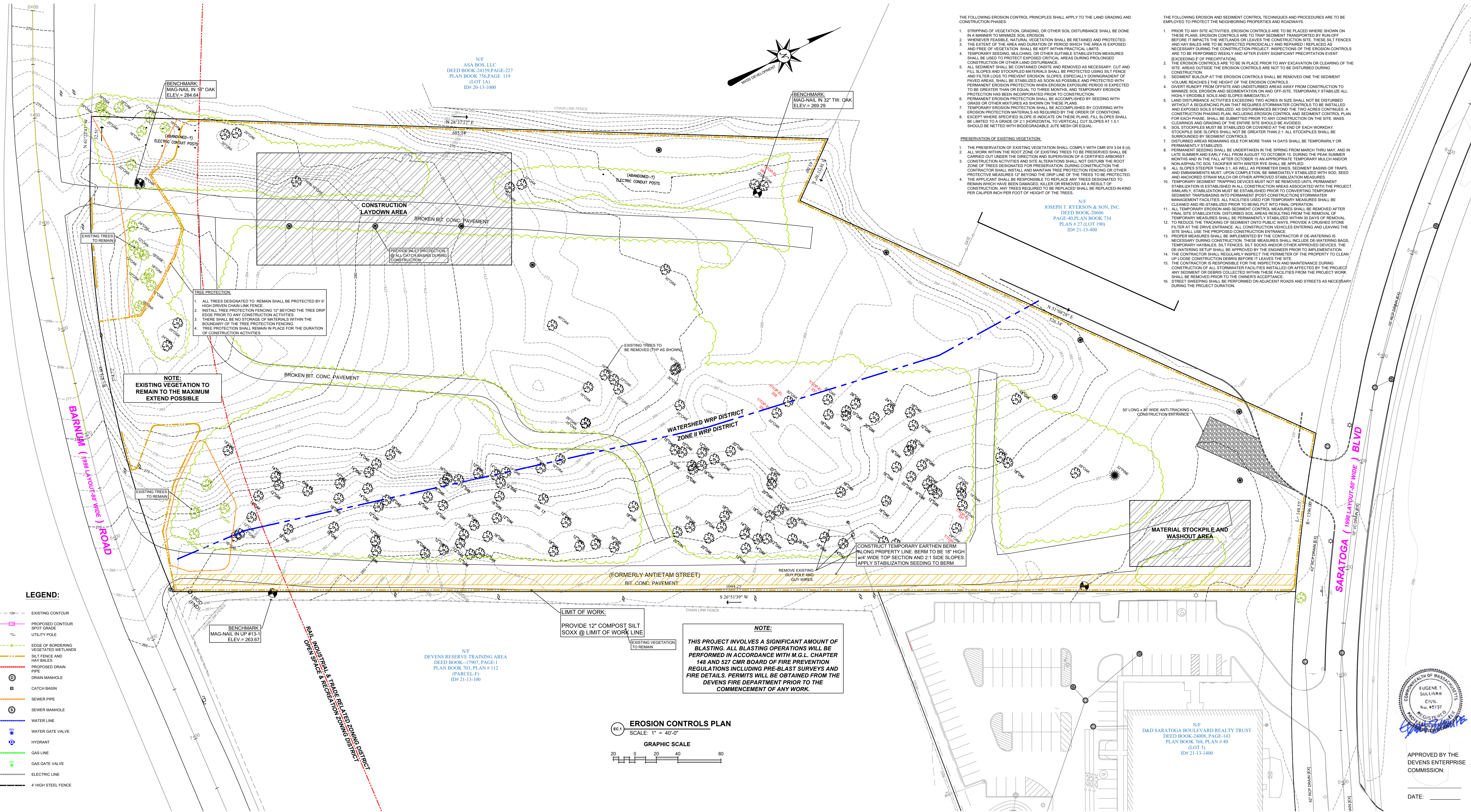


DRAWING INDEX: OCTOBER 12, 2022

SHEET NO.	DESCRIPTION	REVISION
EC.1	EROSION AND SEDIMENT CONTROL PLAN	10/12/22
C.1	EXISTING CONDITIONS	10/12/22
C.2	SITE LAYOUT PLAN	10/12/22
C.3	DRAINAGE AND UTILITIES	10/12/22
C.4.1	CONSTRUCTION DETAILS	10/12/22
C.4.2	CONSTRUCTION DETAILS	10/12/22
SL-1	SITE LIGHTING PLAN	10/12/22
L.1	LANDSCAPE PLAN	10/12/22
A.1	BUILDING ELEVATIONS	10/12/22

APPROVED BY THE
 DEVENS ENTERPRISE
 COMMISSION:

DATE: _____



NOTES:

1. STONE ENTRANCES TO REMAIN UNTIL INSTALLATION OF PAVEMENT SUB-BASE IS TO BEGAIN.
2. STONE SHALL BE REPLACED AS REQUIRED TO ENSURE MUD REMOVAL.
3. SEE C-2 FOR LOCATIONS AND DIMENSIONS.

INSTALLATION NOTES:

1. REMOVE GRATE
2. DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING SURFACE OF CASTING OR CONCRETE STRUCTURE
3. REPLACE GRATE

REVISIONS:

NO.	DATE	REVISIONS
1	4/20/22	REVISIONS FOR SUPPLEMENTAL PILING
2	10/12/22	REVISIONS TO ADDRESS DEC COMMENTS

PREPARED FOR: 35 SARATOGA PROPERTY OWNER, LLC
133 PEARL STREET BOSTON, MA

PROJECT: PROPOSED BUILDING AVANTOR FLUID HANDLING 35 SARATOGA BOULEVARD DEVENS, MA

SCALE: 1" = 40'-0"

DATE: APRIL 6, 2022

DRAWING NUMBER: EC.1

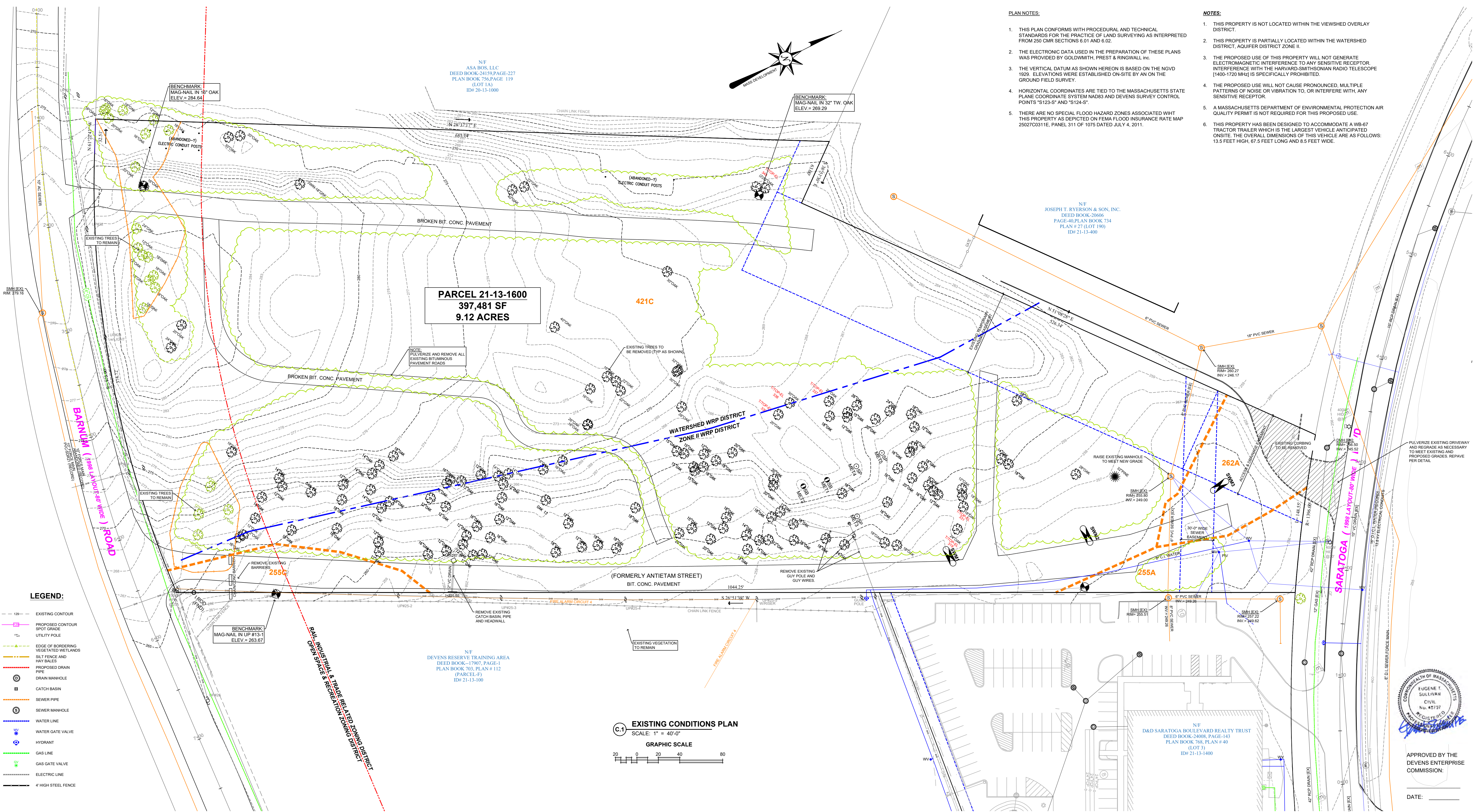
APPROVED BY THE DEVENS ENTERPRISE COMMISSION:

DATE:



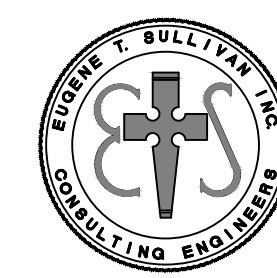
APPROVED BY THE DEVENS ENTERPRISE COMMISSION:

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APPROVED BY THE
DEVENS ENTERPRISE
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DATE: _____



Eugene T. Sullivan, Inc.
Consulting Engineers
230 Lowell Street - Suite 2A
Wilmington, MA 01887
Phone: 978-657-6469
Fax: 978-671-8563
Email: etspe@outlook.com

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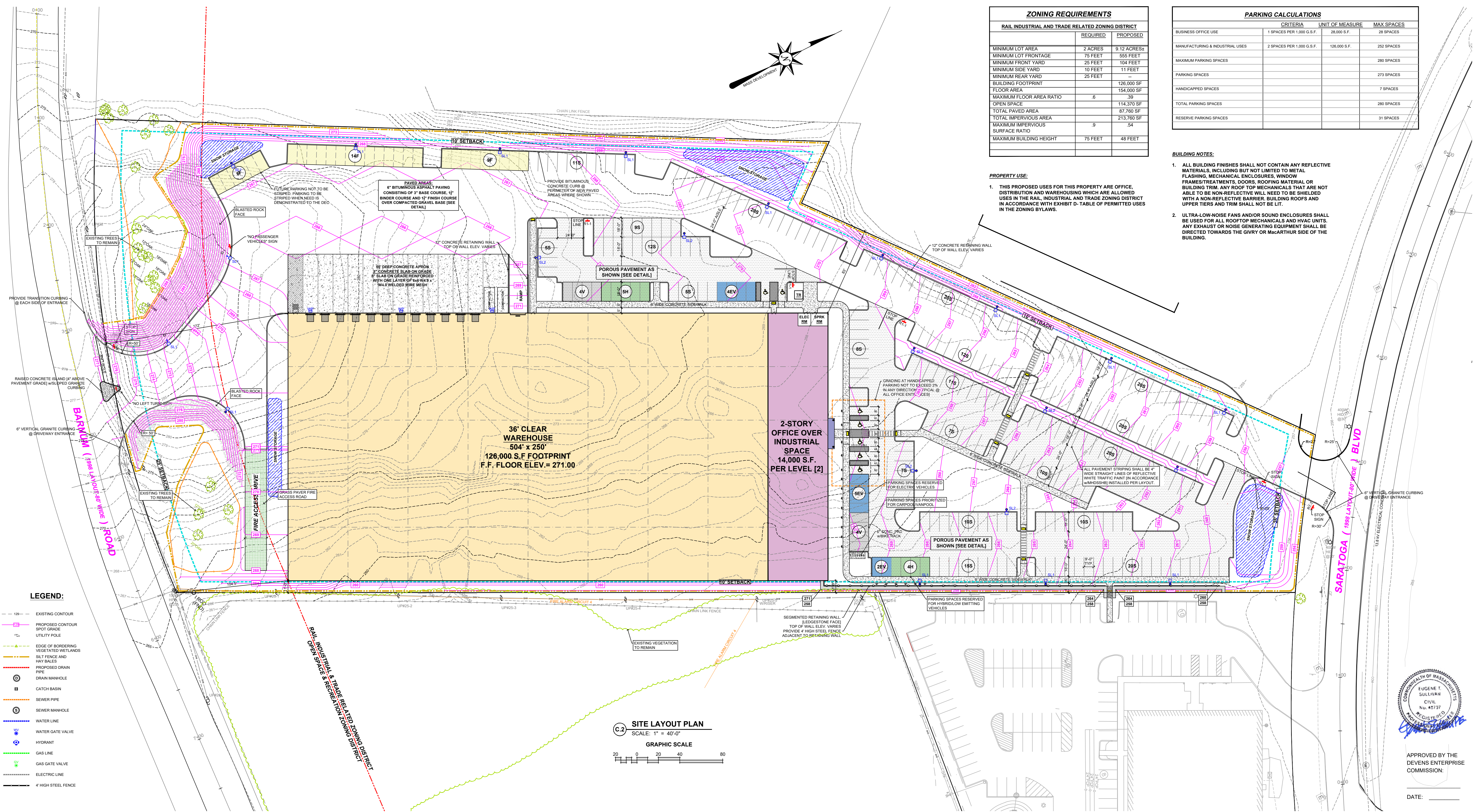
PREPARED FOR:
35 SARATOGA PROPERTY OWNER, LLC
133 PEARL STREET
BOSTON, MA

PROJECT:
PROPOSED BUILDING AVANTOR FLUID HANDLING
35 SARATOGA BOULEVARD
DEVENS, MA

DRAWING:
EXISTING CONDITIONS PLAN

SCALE: 1" = 40'-0"
DATE: APRIL 6, 2022
DRAWING NUMBER

C.1



ZONING REQUIREMENTS

RAIL INDUSTRIAL AND TRADE RELATED ZONING DISTRICT		
	REQUIRED	PROPOSED
MINIMUM LOT AREA	2 ACRES	9.12 ACRES±
MINIMUM LOT FRONTAGE	75 FEET	565 FEET
MINIMUM FRONT YARD	25 FEET	104 FEET
MINIMUM SIDE YARD	10 FEET	11 FEET
MINIMUM REAR YARD	25 FEET	--
BUILDING FOOTPRINT FLOOR AREA	126,000 SF	154,000 SF
MAXIMUM FLOOR AREA RATIO	6	.39
OPEN SPACE		114,370 SF
TOTAL PAVED AREA		87,760 SF
TOTAL IMPERVIOUS SURFACE RATIO	9	.54
MAXIMUM BUILDING HEIGHT	75 FEET	48 FEET

PARKING CALCULATIONS

BUSINESS OFFICE USE	CRITERIA		
	UNIT OF MEASURE	MAX SPACES	
1 SPACES PER 1,000 G.S.F.	28,000 S.F.	28 SPACES	
2 SPACES PER 1,000 G.S.F.	126,000 S.F.	252 SPACES	
MAXIMUM PARKING SPACES		280 SPACES	
PARKING SPACES		273 SPACES	
HANDICAPPED SPACES		7 SPACES	
TOTAL PARKING SPACES		280 SPACES	
RESERVE PARKING SPACES		31 SPACES	

PROPERTY USE:

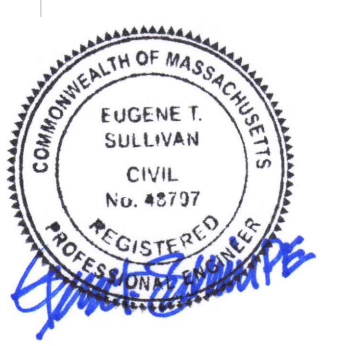
1. THIS PROPOSED USES FOR THIS PROPERTY ARE OFFICE, DISTRIBUTION AND WAREHOUSING WHICH ARE ALLOWED USES IN THE RAIL INDUSTRIAL AND TRADE ZONING DISTRICT IN ACCORDANCE WITH EXHIBIT D- TABLE OF PERMITTED USES IN THE ZONING BYLAWS.

BUILDING NOTES:

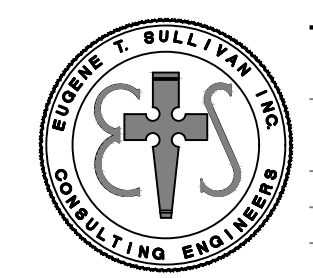
- ALL BUILDING FINISHES SHALL NOT CONTAIN ANY REFLECTIVE MATERIALS, INCLUDING BUT NOT LIMITED TO METAL FLASHING, MECHANICAL ENCLOSURES, WINDOW FRAMES/TREATMENTS, DOORS, ROOFING MATERIAL OR BUILDING TRIM. ANY ROOF TOP MECHANICALS THAT ARE NOT ABLE TO BE NON-REFLECTIVE WILL NEED TO BE SHIELDED WITH A NON-REFLECTIVE BARRIER. BUILDING ROOFS AND UPPER TIERS AND TRIM SHALL NOT BE LIT.
- ULTRA-LOW-NOISE FANS AND/OR SOUND ENCLOSURES SHALL BE USED FOR ALL ROOFTOP MECHANICALS AND HVAC UNITS. ANY EXHAUST OR NOISE GENERATING EQUIPMENT SHALL BE DIRECTED TOWARDS THE GIVRY OR MacARTHUR SIDE OF THE BUILDING.

- LEGEND:**
- - - EXISTING CONTOUR
 - - - PROPOSED CONTOUR
 - SPOT GRADE
 - UTILITY POLE
 - - - EDGE OF BORDERING VEGETATED WETLANDS
 - - - SILT FENCE AND HAY BALES
 - - - PROPOSED DRAIN PIPE
 - DRAIN MANHOLE
 - CATCH BASIN
 - - - SEWER PIPE
 - SEWER MANHOLE
 - - - WATER LINE
 - WATER GATE VALVE
 - HYDRANT
 - - - GAS LINE
 - GAS GATE VALVE
 - - - ELECTRIC LINE
 - - - 4" HIGH STEEL FENCE

SITE LAYOUT PLAN
SCALE: 1" = 40'-0"
GRAPHIC SCALE

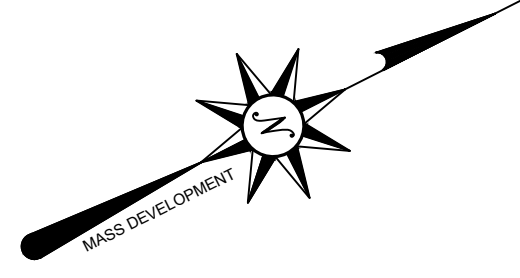
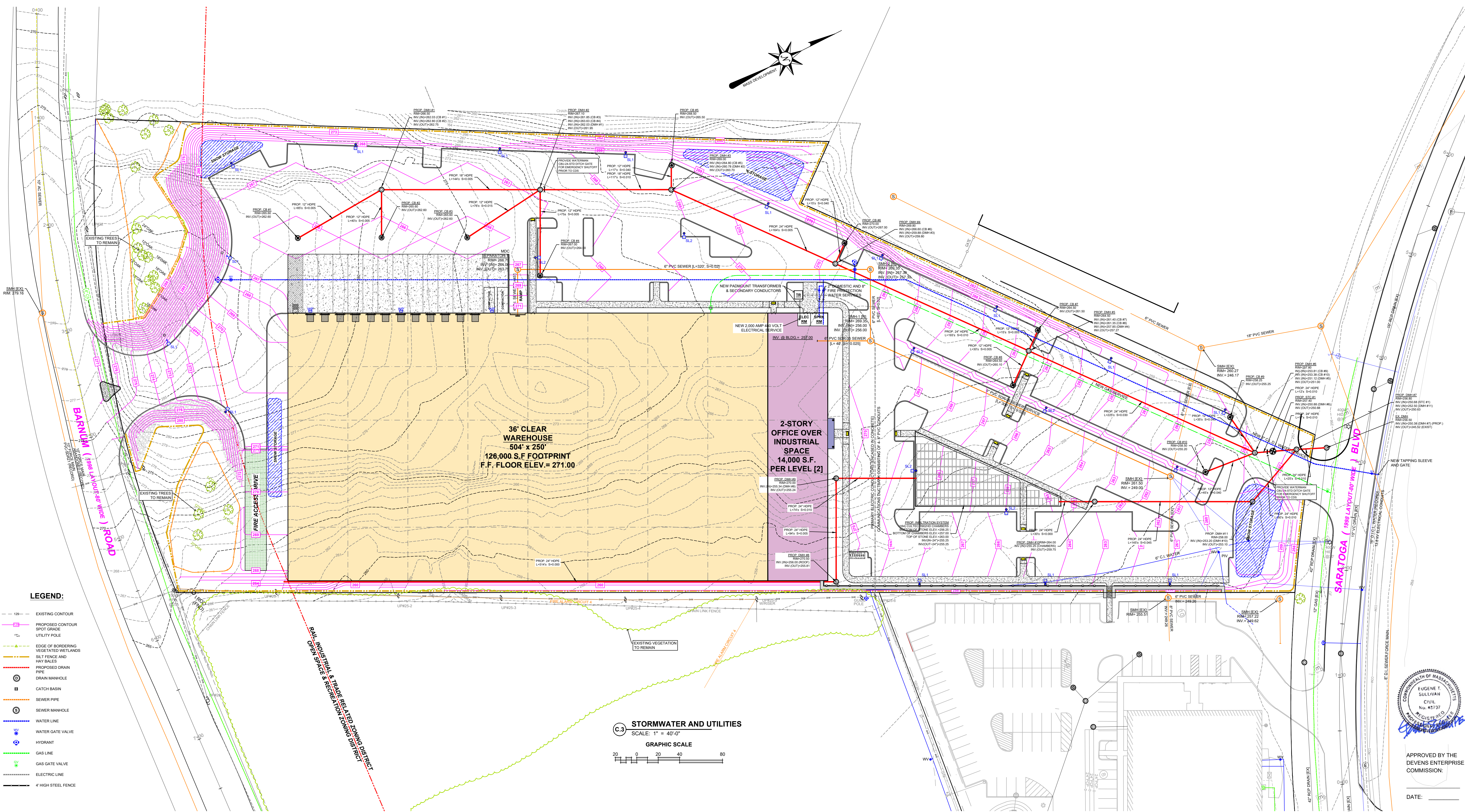


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Consulting Engineers
230 Lowell Street - Suite 2A
Wilmington, MA 01887
Phone: 978.657.6469
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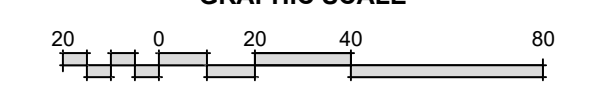
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1	4/20/22	REVISIONS FOR SUPPLEMENTAL FILING	35 SARATOGA PROPERTY OWNER, LLC 135 PEARL STREET BOSTON, MA	SITE PLAN LAYOUT
2	10/12/22	REVISIONS TO ADDRESS DEC COMMENTS		
PROJECT:			PROPOSED BUILDING AVANTOR FLUID HANDLING	SCALE: 1" = 40'-0"
DATE:			APRIL 6, 2022	DATE:
DRAWING NUMBER:			C.2	



36' CLEAR WAREHOUSE
504' x 250'
126,000 S.F. FOOTPRINT
F.F. FLOOR ELEV. = 271.00

2-STORY OFFICE OVER INDUSTRIAL SPACE
14,000 S.F.
PER LEVEL [2]

STORMWATER AND UTILITIES
 SCALE: 1" = 40'-0"
 GRAPHIC SCALE



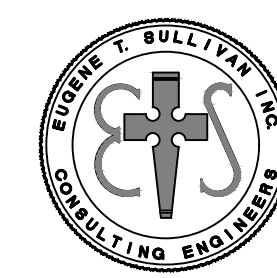
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- WATER LINE
- WATER GATE VALVE
- HYDRANT
- GAS LINE
- GAS GATE VALVE
- ELECTRIC LINE
- #4 HIGH STEEL FENCE



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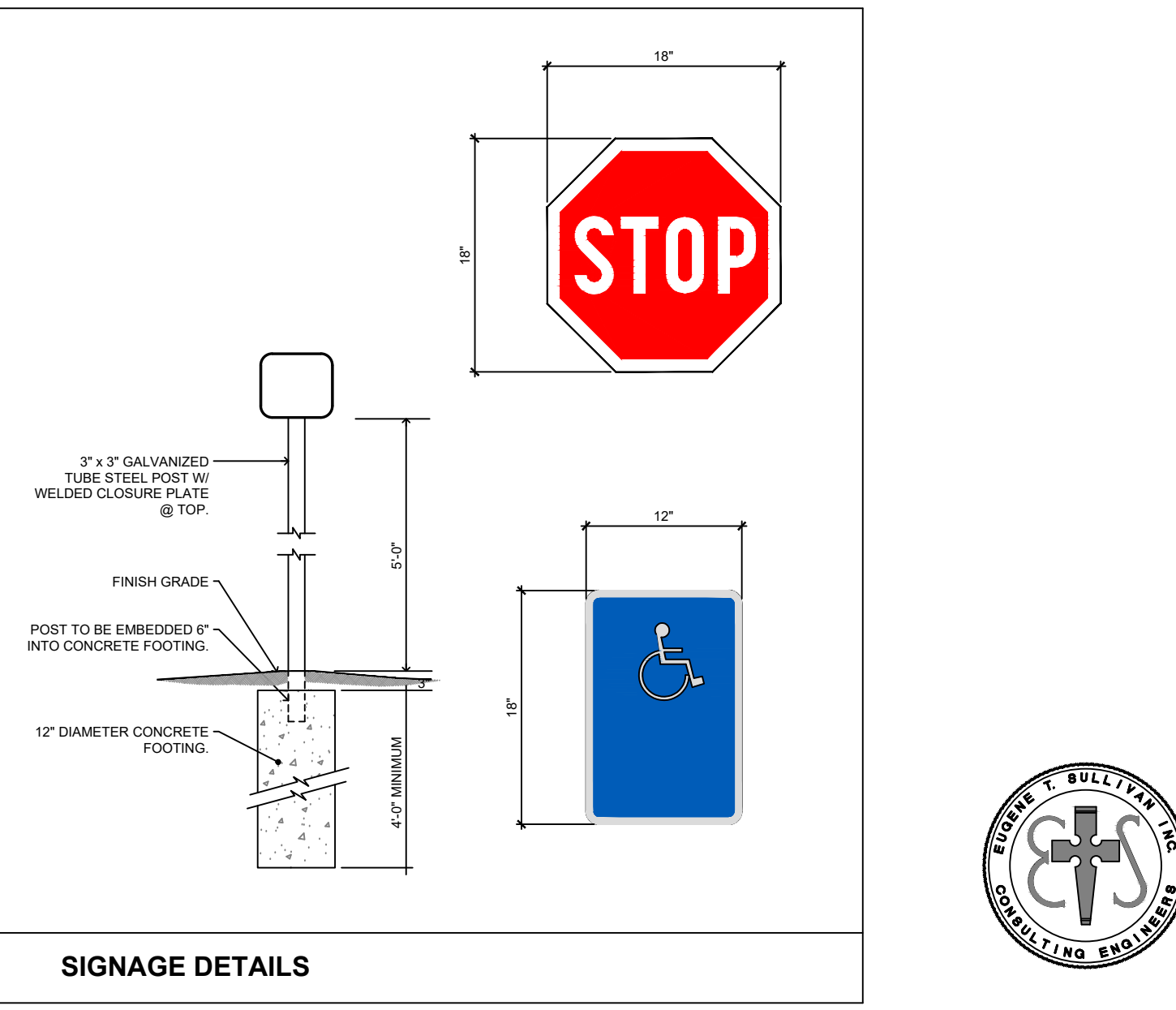
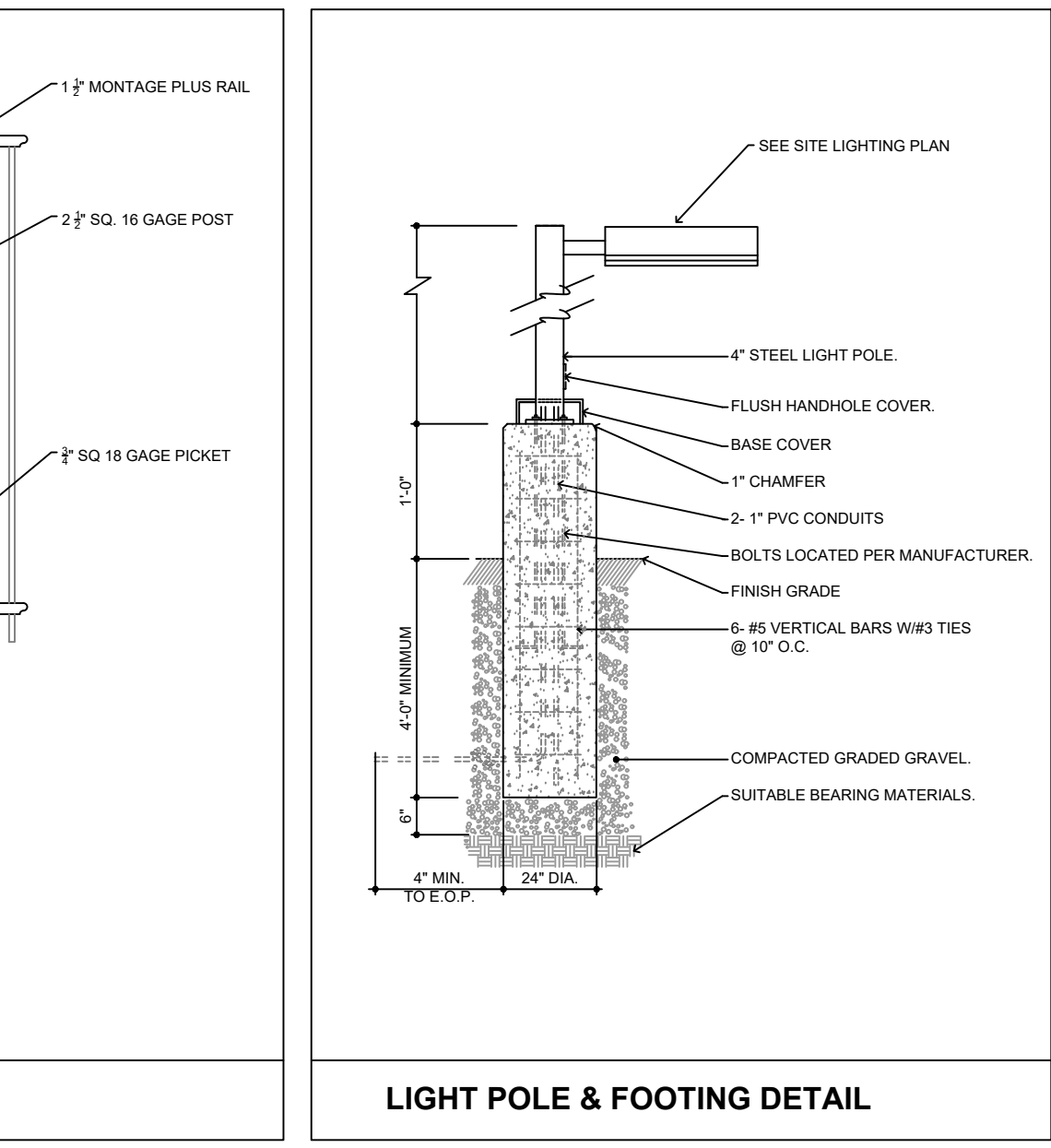
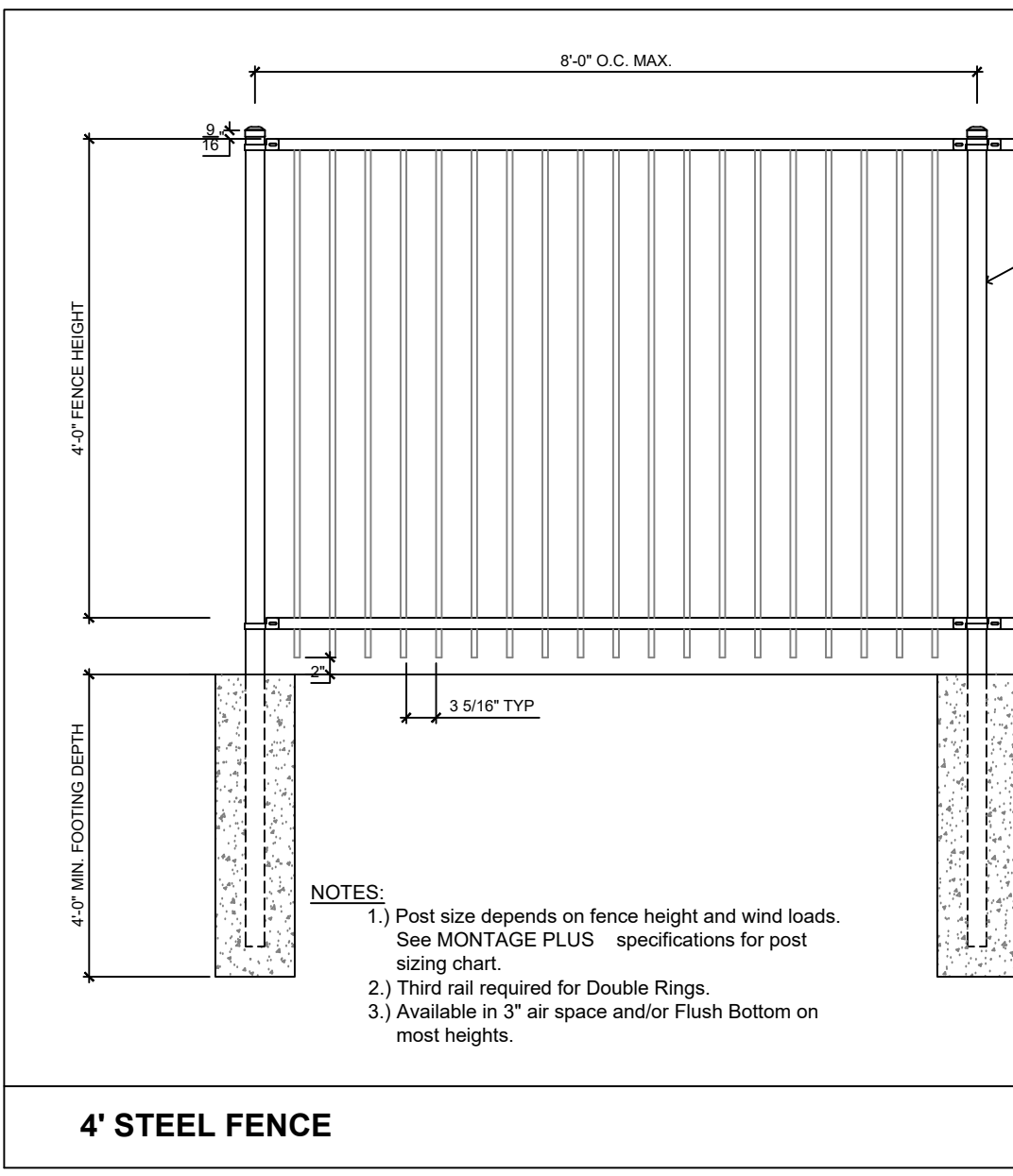
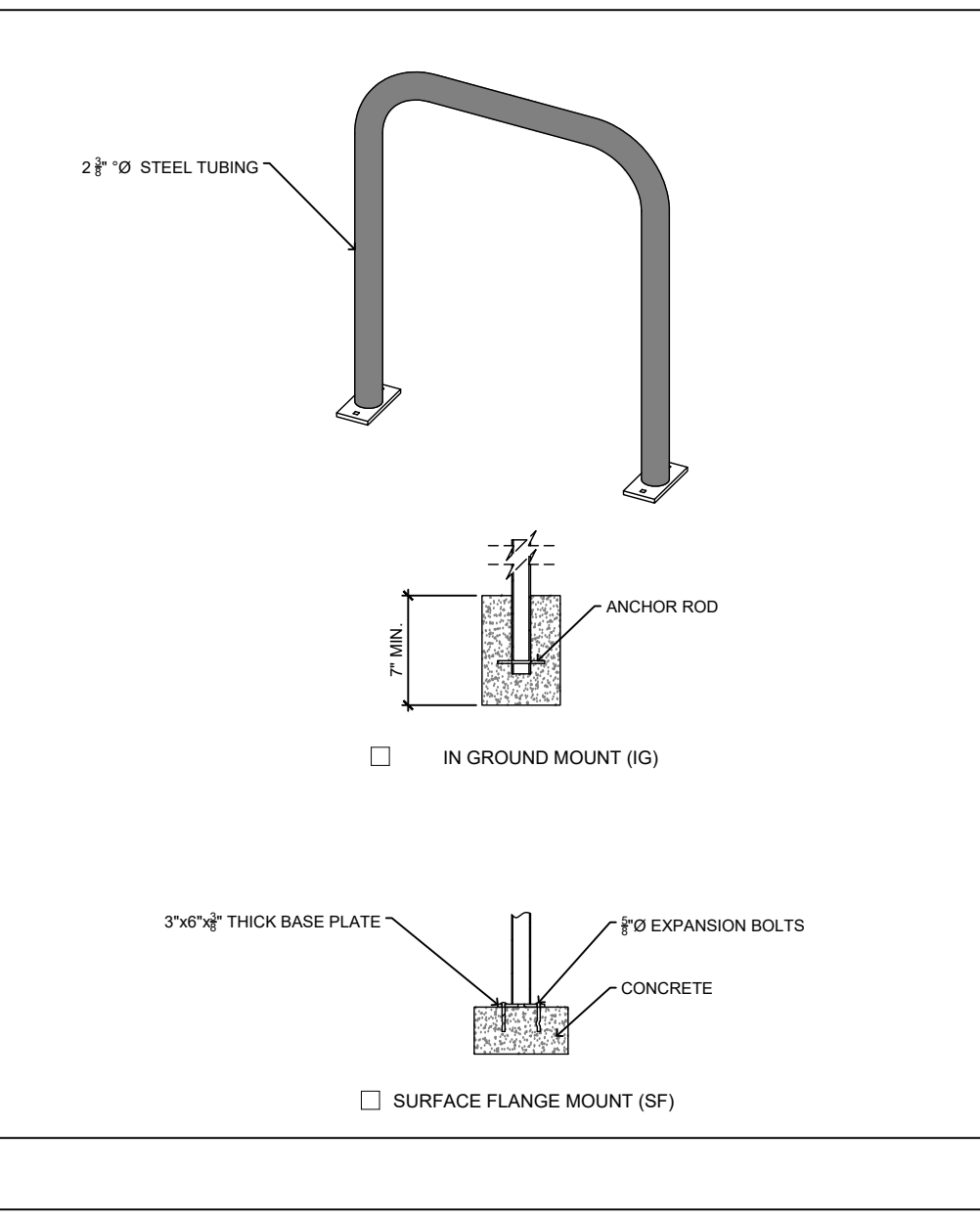
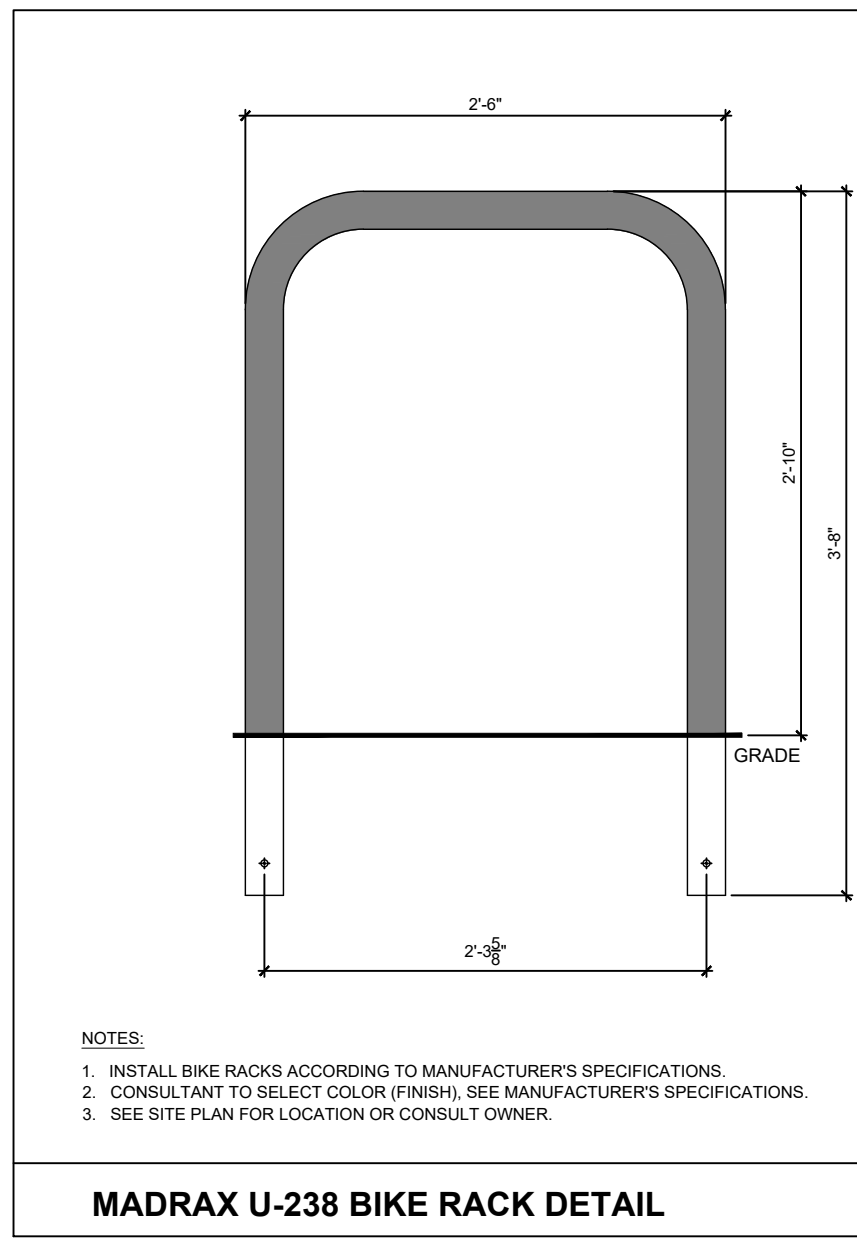
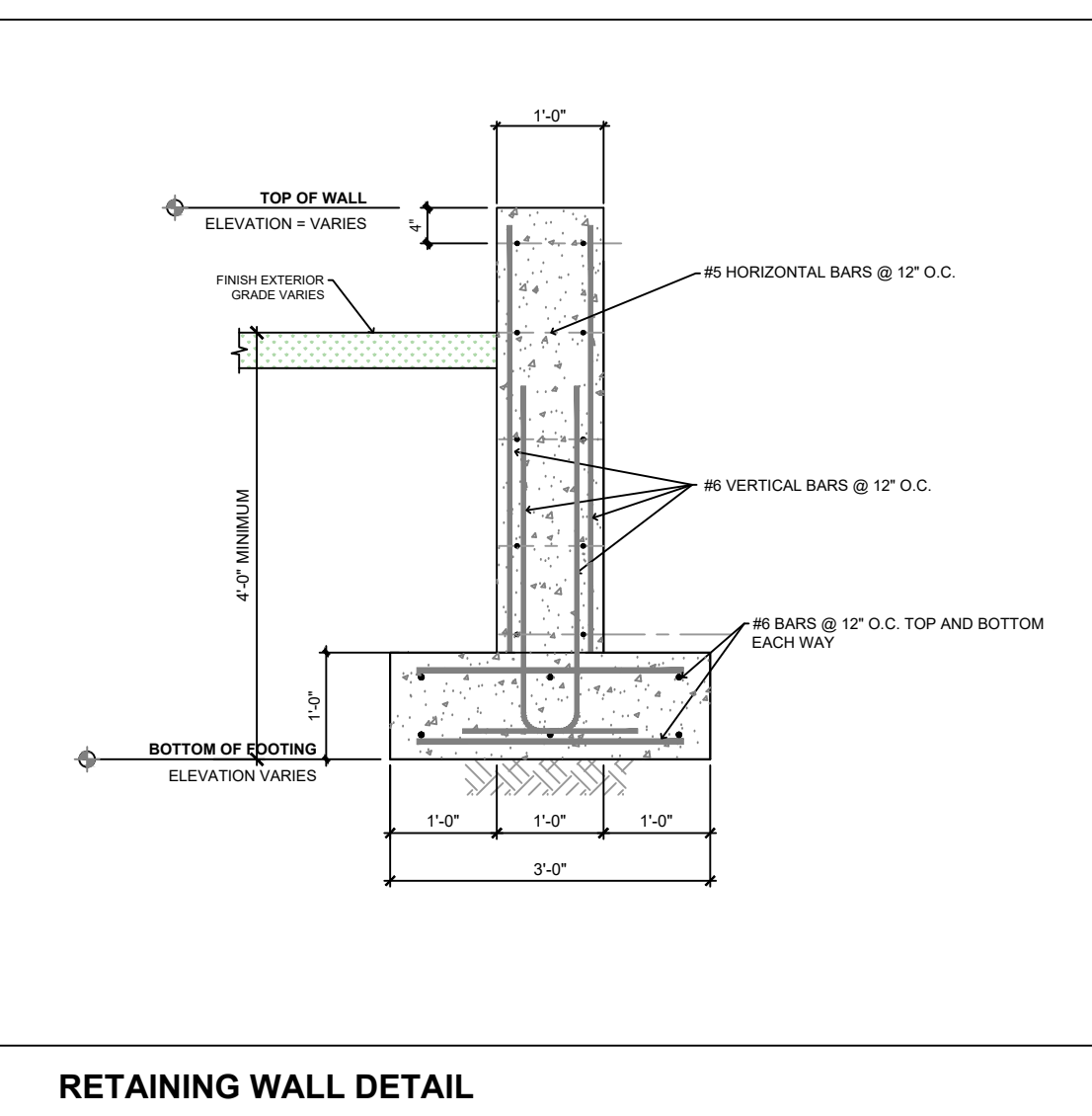
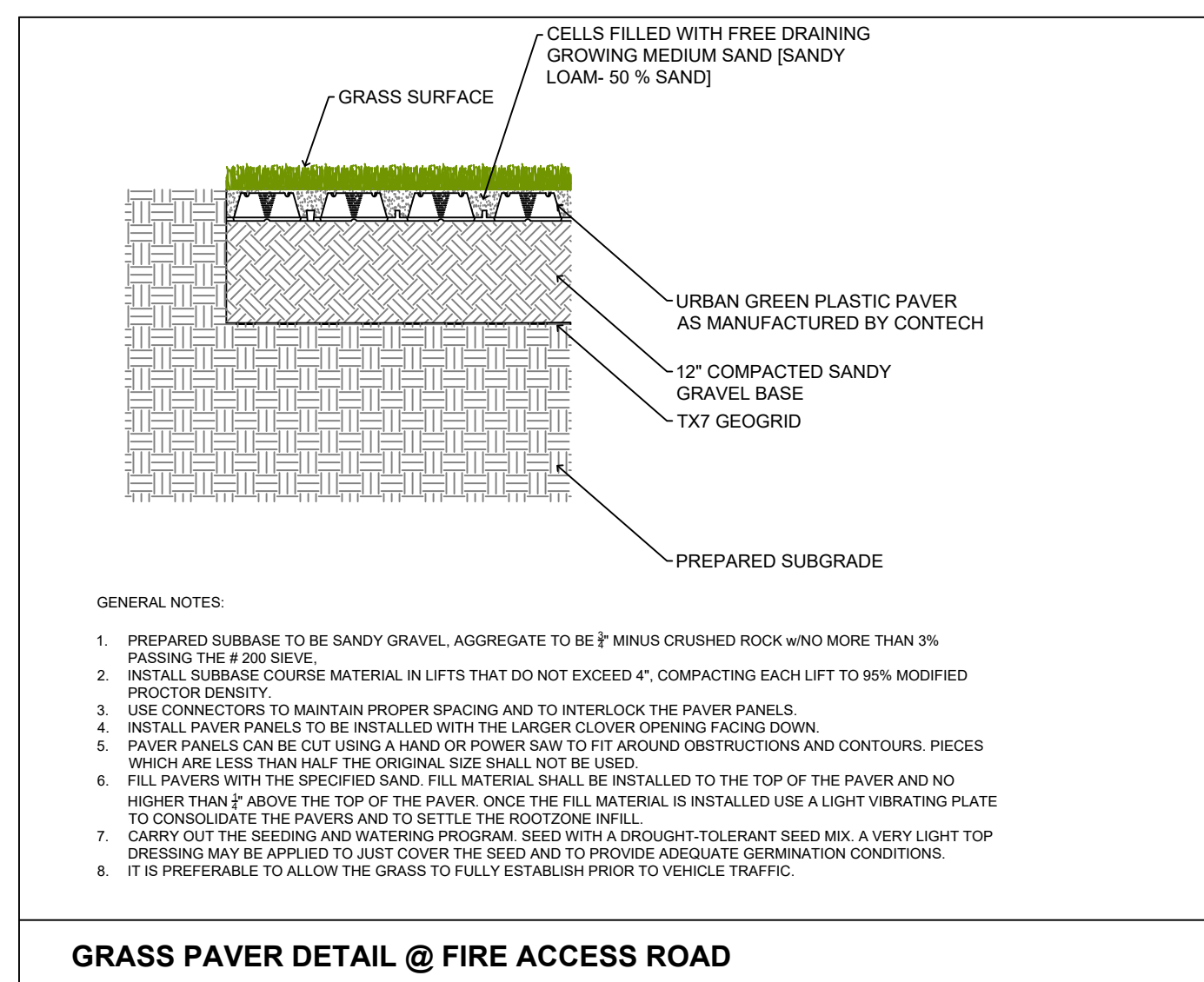
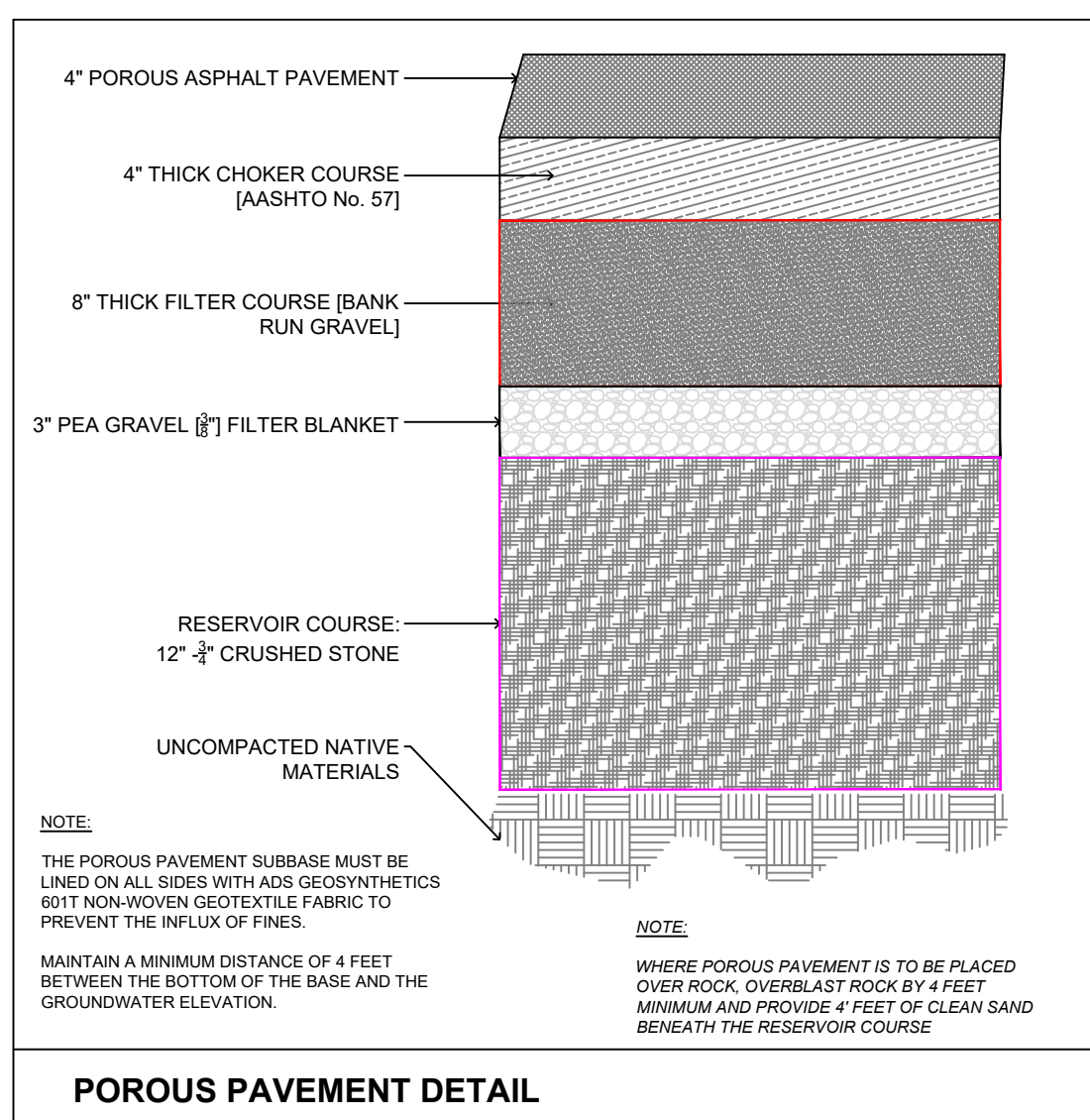
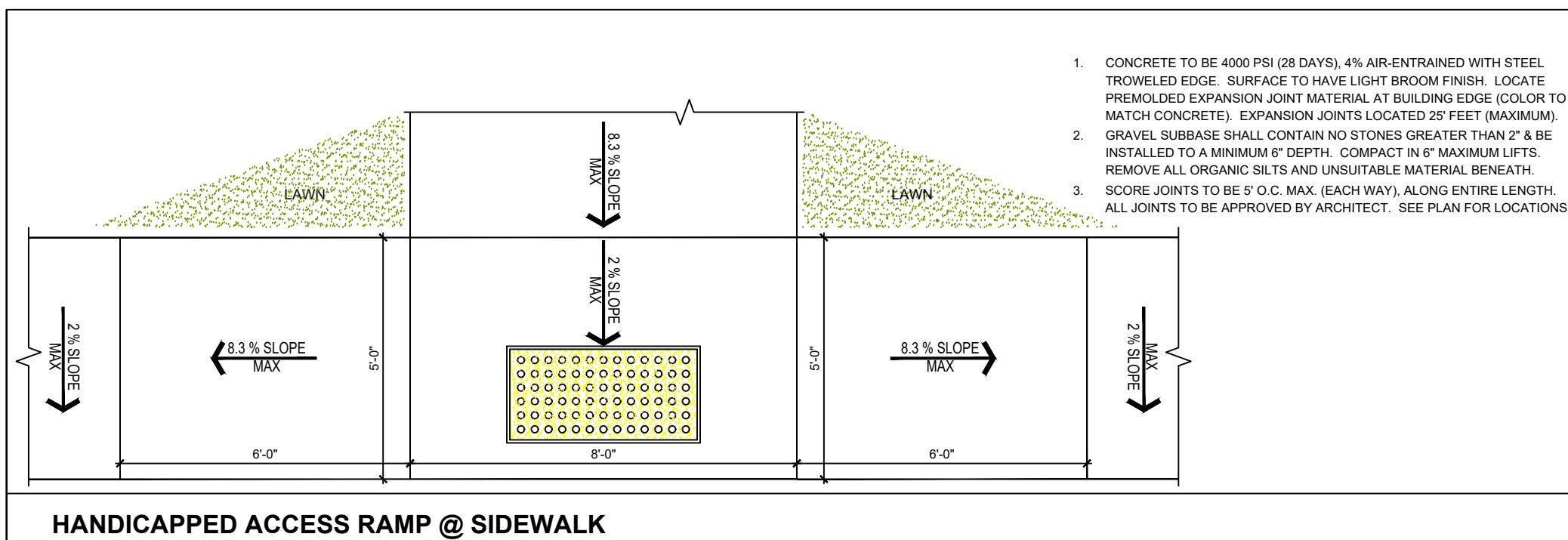
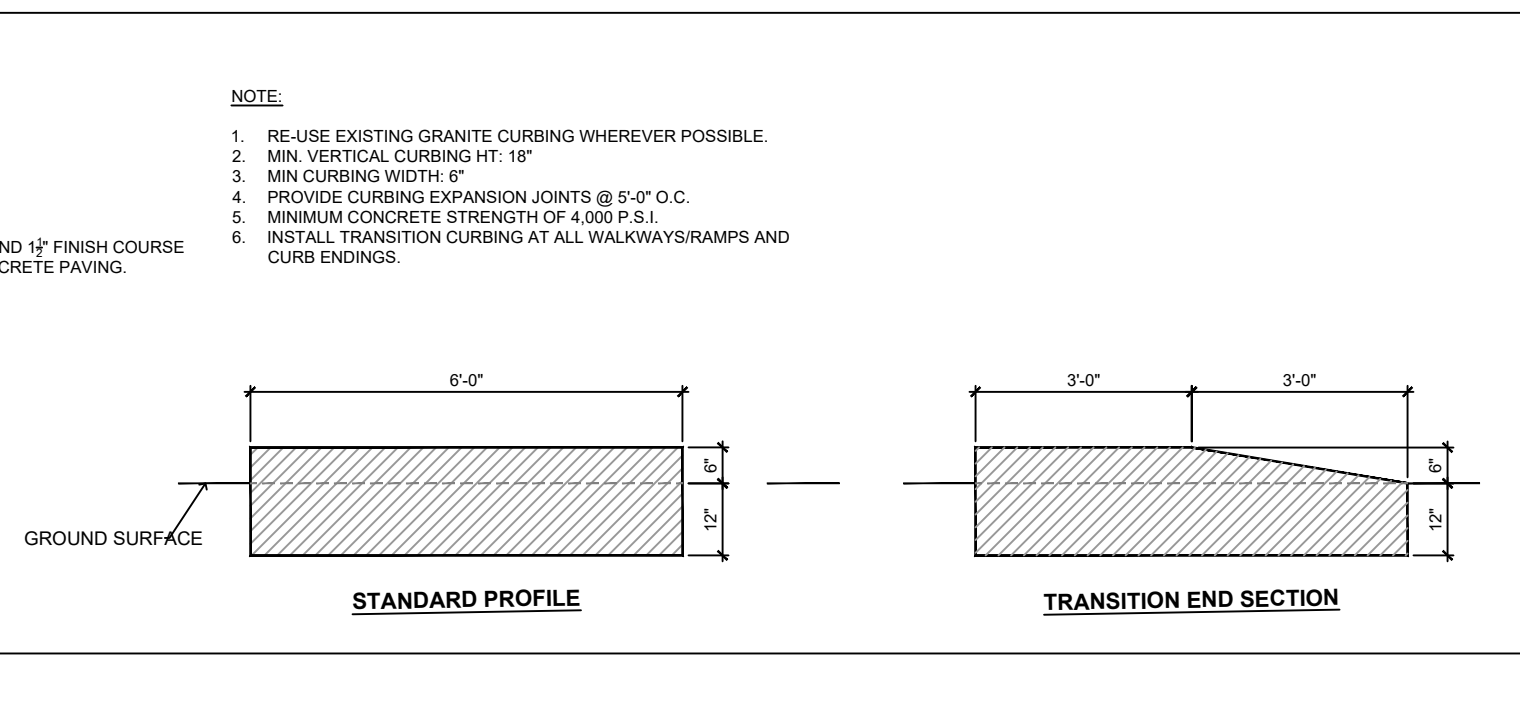
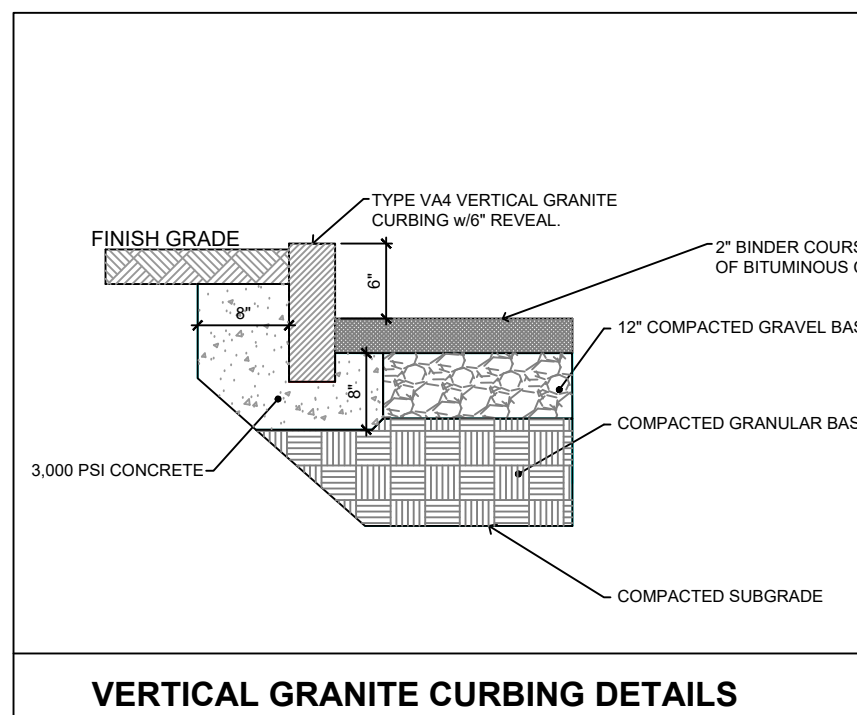
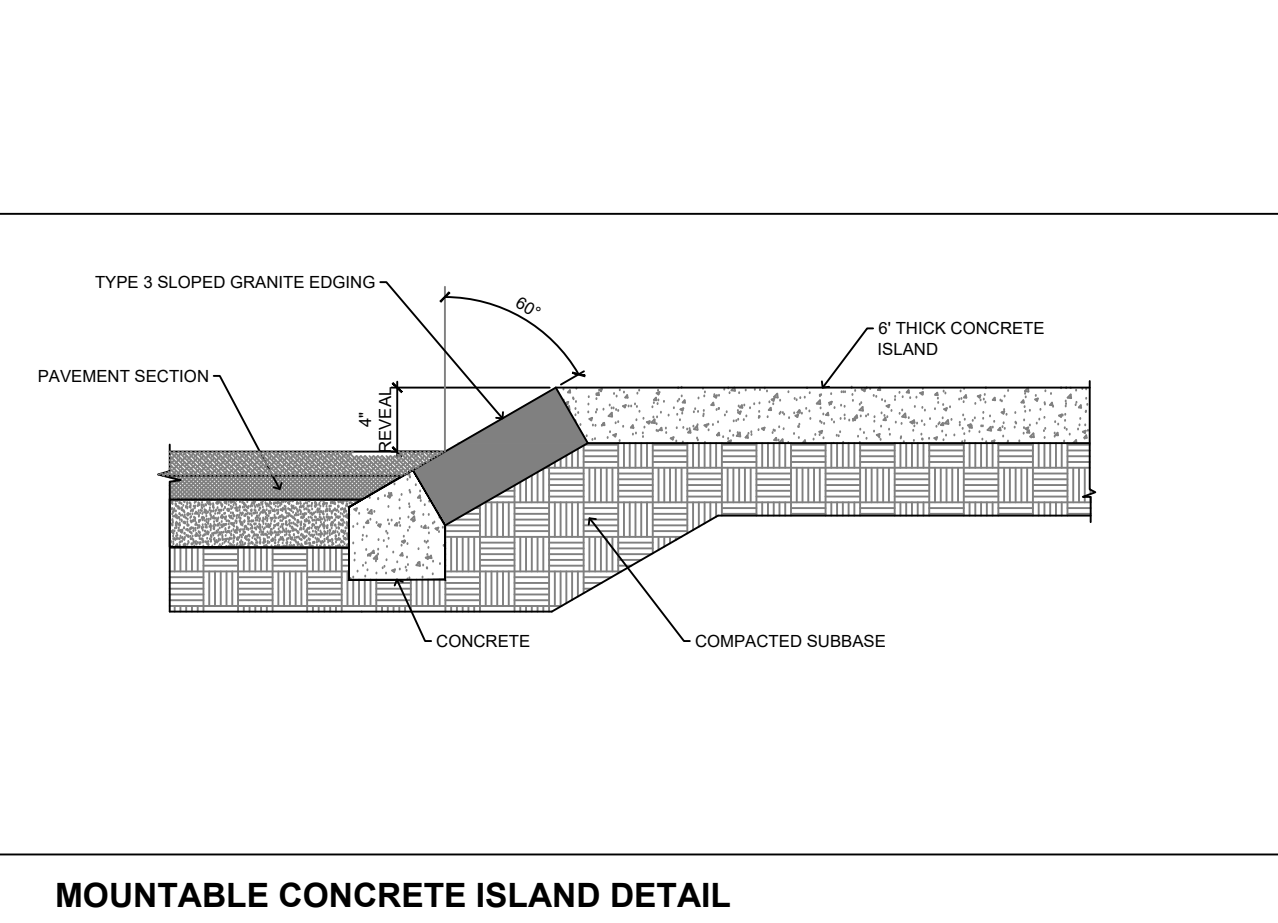
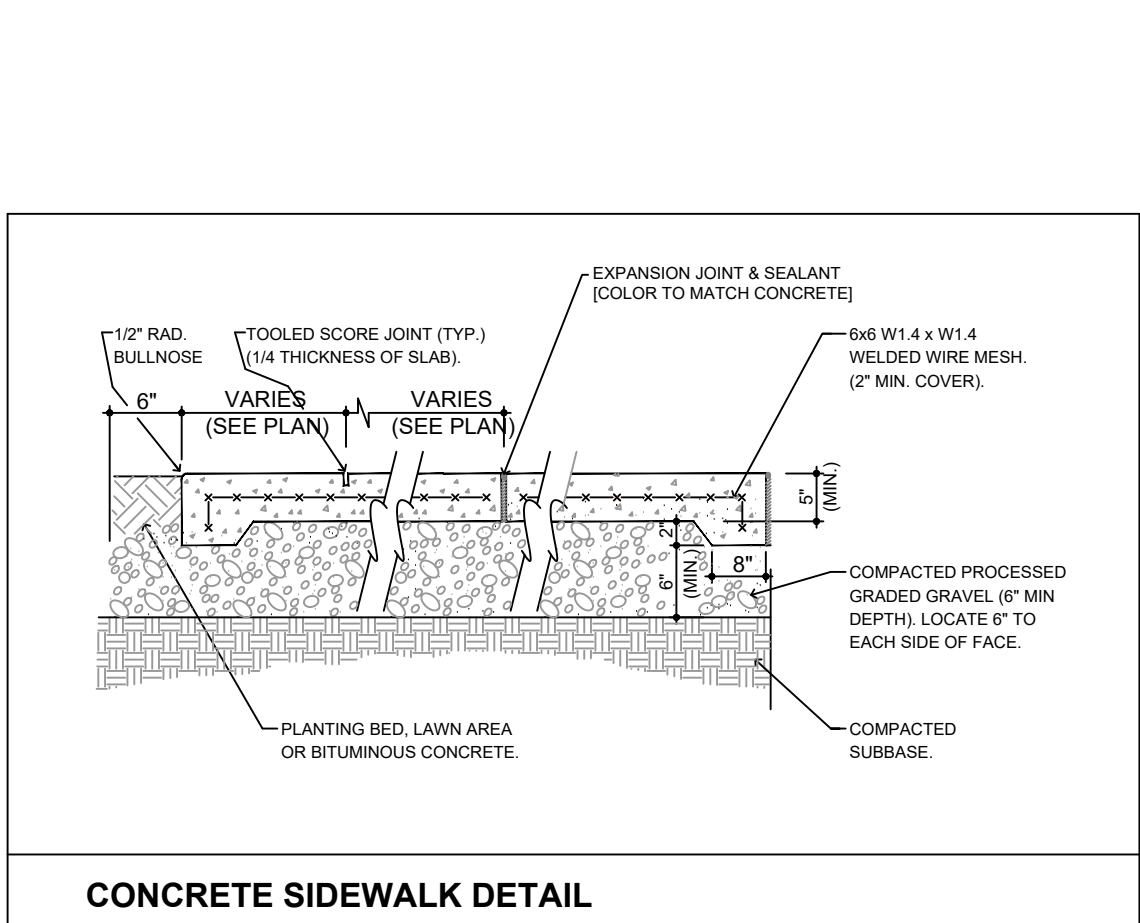
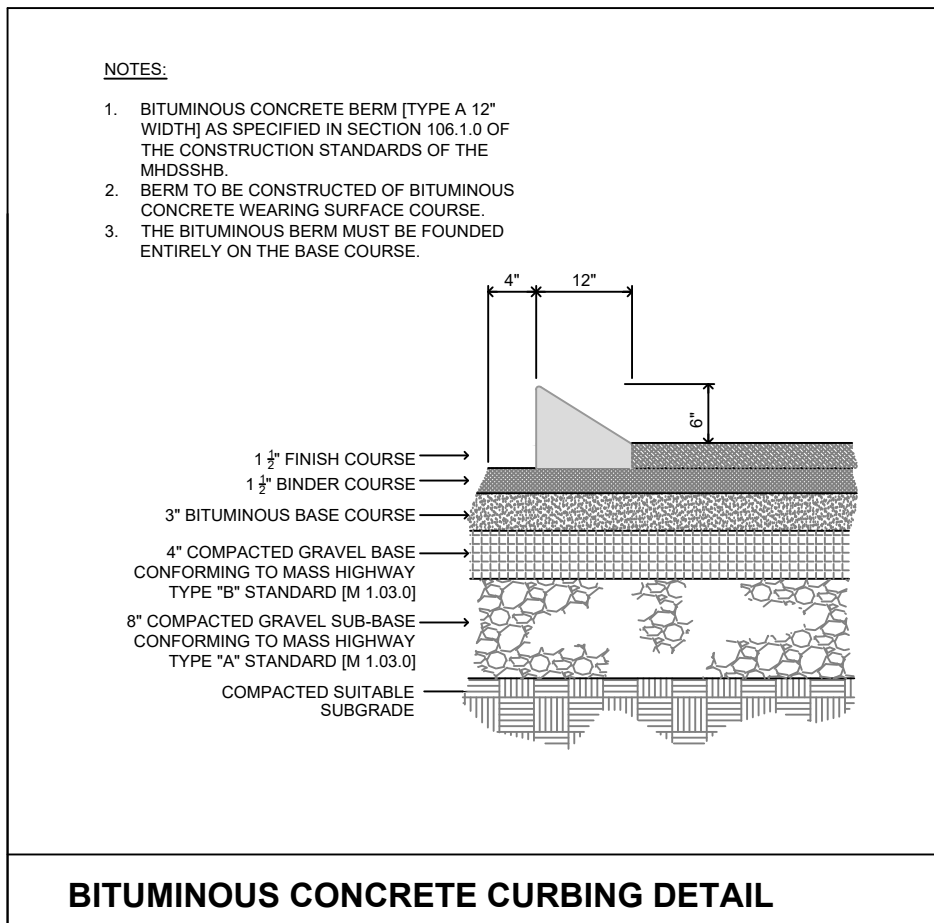
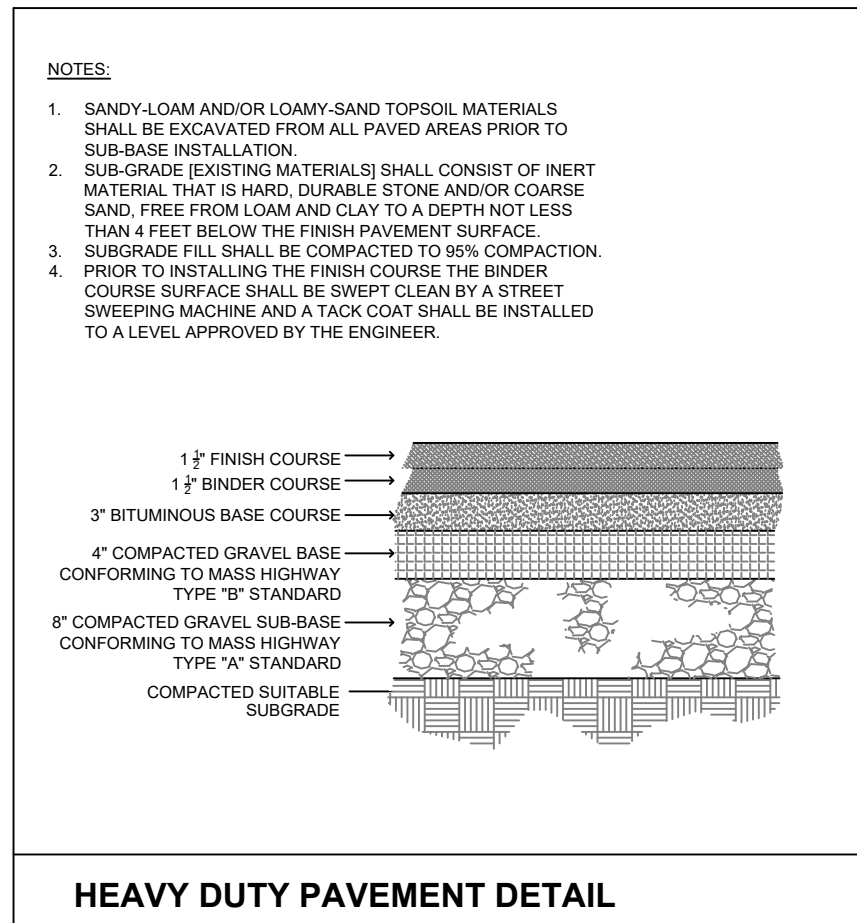
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PREPARED FOR:
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 BOSTON, MA

PROJECT:
PROPOSED BUILDING AVANTOR FLUID HANDLING
 35 SARATOGA BOULEVARD
 DEVENS, MA

DRAWING:
STORMWATER AND UTILITIES PLAN

SCALE: 1" = 40'-0"
 DATE: APRIL 6, 2022
 DRAWING NUMBER:
C.3



DRAINAGE AND UTILITIES NOTES:

1. ALL UNDERGROUND STRUCTURES, INCLUDING MANHOLES, CATCH BASINS, AREA DRAINS, THE PUMP STATION AND GREASE TRAP, SHALL BE DESIGNED TO WITHSTAND H-20 LOADING.
2. ALL STORM DRAINAGE PIPES TO BE HIGH DENSITY POLYETHYLENE (HDPE). ADS N-12 OR APPROVED EQUAL OR RCP CLASS IV CAPABLE OF WITHSTANDING H-20 LOADING. MINIMUM CLEARANCE BETWEEN PROPOSED DRAINAGE PIPING AND OTHER UTILITIES/STRUCTURES SHALL BE 18 INCHES VERTICALLY AND 4 FEET HORIZONTALLY. THE MINIMUM COVER OF THE HOPE PIPE IS 1'-0" FOR H-20 LOADS. THIS COVER IS MEASURED FROM THE PIPE OD TO THE TOP OF RIGID PAVEMENT.
3. THE MAINTENANCE OF ALL DRAINAGE STRUCTURES IS THE RESPONSIBILITY OF THE OWNER.
4. ALL CONSTRUCTION AND TESTING METHODS SHALL COMPLY WITH THE LOCAL RULES AND REGULATIONS. IN CASES WHERE THE DRAWINGS DIFFER FROM THESE REGULATIONS, THE MOST RESTRICTIVE REQUIREMENT SHALL APPLY.
5. ALL DRAINAGE STRUCTURES AND DETAILS TO BE CONSTRUCTED AND INSPECTED CONSISTENT WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.
6. THE CONTRACTOR SHALL INSPECT AND RESTORE / CLEAN ALL FACILITIES (INLETS, MANHOLES, BASINS, ETC) OF SEDIMENT AND DEBRIS PRIOR TO THE ENGINEER'S ACCEPTANCE.
7. PROPOSED GAS, ELECTRIC, WATER, TELEPHONE AND TELEVISION SERVICE LOCATIONS MUST BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION DETAILS TO BE CONSISTENT WITH UTILITY COMPANY STANDARDS AND REQUIREMENTS.
8. CONTRACTOR TO PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
9. ALL WATER MAINS AND WATER SERVICES SHALL HAVE A MINIMUM OF FIVE (5) FEET OF COVER.
10. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM.
11. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL CONSTRUCT THE WATER MAIN AND ITS APPURTENANCE WORK IN ACCORDANCE WITH THE LOCAL WATER DEPARTMENT'S STANDARDS AND SPECIFICATIONS AND PAY FOR ALL ASSOCIATED FEES AS REQUIRED BY THE WATER DEPARTMENT. THE CONTRACTOR SHALL CONTACT THE WATER DEPARTMENT TO ENSURE PROPER INSPECTIONS OF WATER PIPING PRIOR TO BACKFILLING.
12. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE LOCAL AUTHORITY.
13. ALL SEWER PIPE WITH LESS THAN 5' OF COVER UNDER PAVEMENT AND LESS THAN 4' OF COVER UNDER LOAMED AREAS SHALL BE INSULATED. INSULATION SHALL BE 2" THICK POLYURETHANE INSULATION WITH PVC JACKET PLACED AROUND PIPE.
14. A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ANY WATER AND SANITARY SEWER LINES. AN 18" INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATERSANITARY SEWER CROSSINGS.
15. THE LOCATION OF THE WATER AND SEWER SERVICES ALONG THE EAST END OF THE PROPOSED ADDITION WILL REQUIRE CLOSE COORDINATION WITH THE DEVENTS UTILITIES DEPARTMENT TO MINIMIZE POTENTIAL IMPACTS ON ADJACENT PROPERTIES. THE NEW SEWER CONNECTIONS WILL REQUIRE A BYPASS PUMP STATION TO ENSURE SERVICE TO THE OTHER PROPERTIES.
16. MECHANICAL AND FIRE PROTECTION ENGINEERS TO VERIFY DESIGN AND SIZES OF PROPOSED WATER AND SEWER SERVICES @ SITE.
17. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH THE POWER COMPANY.
18. SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
19. WHERE MANUFACTURERS ARE SPECIFIED ON THESE DRAWINGS, APPROVED EQUALS MAY BE SUBSTITUTED UPON WRITTEN APPROVAL FROM THE CIVIL ENGINEER OF RECORD.
20. IF AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY THE ARCHITECT, ELEVATION AND SIZE OF THE UTILITY OR OTHER CONFLICT SHALL BE ACCURATELY DETERMINED BY THE CONTRACTOR WITHOUT DELAY. AND THE INFORMATION FURNISHED IN WRITING TO CIVIL ENGINEER OF RECORD TO RESOLVE THE CONFLICT.
21. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF NEW UTILITY SERVICES, LOCATIONS AND ELEVATIONS WITH THE UTILITY COMPANIES AND THE BUILDING DRAWINGS.
22. THE CONTRACTOR IS RESPONSIBLE TO SUBMIT TESTING REPORTS, SHOP DRAWINGS AND PRODUCT SPECIFICATIONS TO THE CIVIL ENGINEER OF RECORD FOR MATERIALS, STRUCTURES, EQUIPMENT, RETAINING WALLS, ETC. FOR APPROVAL PRIOR TO INSTALLATION.
23. THE CONTRACTOR IS TO SUBMIT AS-BUILT PLANS IN ELECTRONIC CAD FORMAT TO THE OWNER AND CIVIL ENGINEER OF RECORD UPON COMPLETION OF THE PROJECT. THE AS-BUILT SHALL BE PREPARED AND CERTIFIED BY A MA LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER. AS-BUILT DRAWINGS SHALL ALSO BE PROVIDED TO THE DEVENTS ENTERPRISE COMMISSION AND COMPLY WITH THEIR AS-BUILT POLICY. <https://www.devents.com/development/as-built-policy.pdf>

GRADING NOTES:

COMPACTION REQUIREMENTS:

MINIMUM COMPACTION	LOCATION
95%	BELOW PAVED OR CONCRETE AREAS
95%	TRENCH BEDDING MATERIALS
90%	BELOW LOAM AND SEED AREAS

1. ALL PERCENTAGES OF COMPACTION TESTING SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS MUST BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM 902.
2. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS AND SPECIFICATIONS FOR EARTHWORK AND COMPACTION REQUIREMENTS FOR ALL SLABS AND BUILDING FOUNDATIONS.
3. SPRINKLER OR USE A WATER TRUCK AS NECESSARY TO APPLY WATER DURING GRADING OPERATIONS IN ORDER TO MINIMIZE SEDIMENT TRANSPORT AND MAINTAIN ACCEPTABLE AIR QUALITY CONDITIONS. REPETITIVE TREATMENTS SHALL BE DONE AS NEEDED UNTIL THE GRADES ARE PAVED OR SEEDED.
4. ONCE THE PERMETER EROSION CONTROL MEASURES HAVE BEEN IMPLEMENTED, CUTTING AND EARTH PREPARATION SHALL COMMENCE FOR THE PROPOSED CONSTRUCTION ENTRANCE.
5. DIVERSION BERMS AND SEDIMENT TRAPS SHALL BE CONSTRUCTED, AS NEEDED, TO CAPTURE SILT LADEN RUNOFF FROM THE SITE.
6. SITE CLEARING AND GRUBBING CAN PROCEED UP TO THE LIMIT OF WORK. NO ALTERATIONS SHALL TAKE PLACE OUTSIDE THE LIMIT OF WORK FOR THE PROJECT WITHOUT PRIOR AUTHORIZATION FROM THE CIVIL ENGINEER OF RECORD AND THE CONSERVATION AGENT.
7. PROCEED WITH ROUGH GRADING OF SUB-SOILS IN PREPARATION FOR GRAVEL BASE COURSES.
8. ALL EARTHWORK AND SITE PREPARATION SHALL BE DONE IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF ANY SUBSURFACE INVESTIGATION OR GEOTECHNICAL REPORTS PREPARED FOR THIS SITE.
9. 2" BINDER COURSE AND 1 1/2" FINISH COURSE OF BITUMINOUS PAVEMENT TO BE INSTALLED ON SITE ON ALL PARKING AREAS. GRAVEL BASE CROSS-SECTION TO BE PREPARED AND INSPECTED BY THE CIVIL ENGINEER OF RECORD PRIOR TO PAVEMENT INSTALLATION.
10. THE CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTIGUOUS GRADE.
11. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ANY LOAMED AND SEEDED AREAS UNTIL LAWN GROWTH IS ESTABLISHED AND APPROVED BY THE ENGINEER / OWNER.
12. CONTRACTOR TO PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM ANY BUILDINGS FOR ALL NATURAL AND PAVED AREAS.

APPROVED BY THE DEVENTS ENTERPRISE COMMISSION:

DATE: _____

PREPARED FOR:
35 SARATOGA PROPERTY OWNER, LLC
133 PEARL STREET
BOSTON, MA

PROJECT:
PROPOSED BUILDING
AVANTOR FLUID
HANDLING
35 SARATOGA
BOULEVARD
DEVENS, MA

DRAWING:
SITE DETAILS
PLAN

SCALE: AS NOTED
DATE: APRIL 6, 2022
DRAWING NUMBER: _____

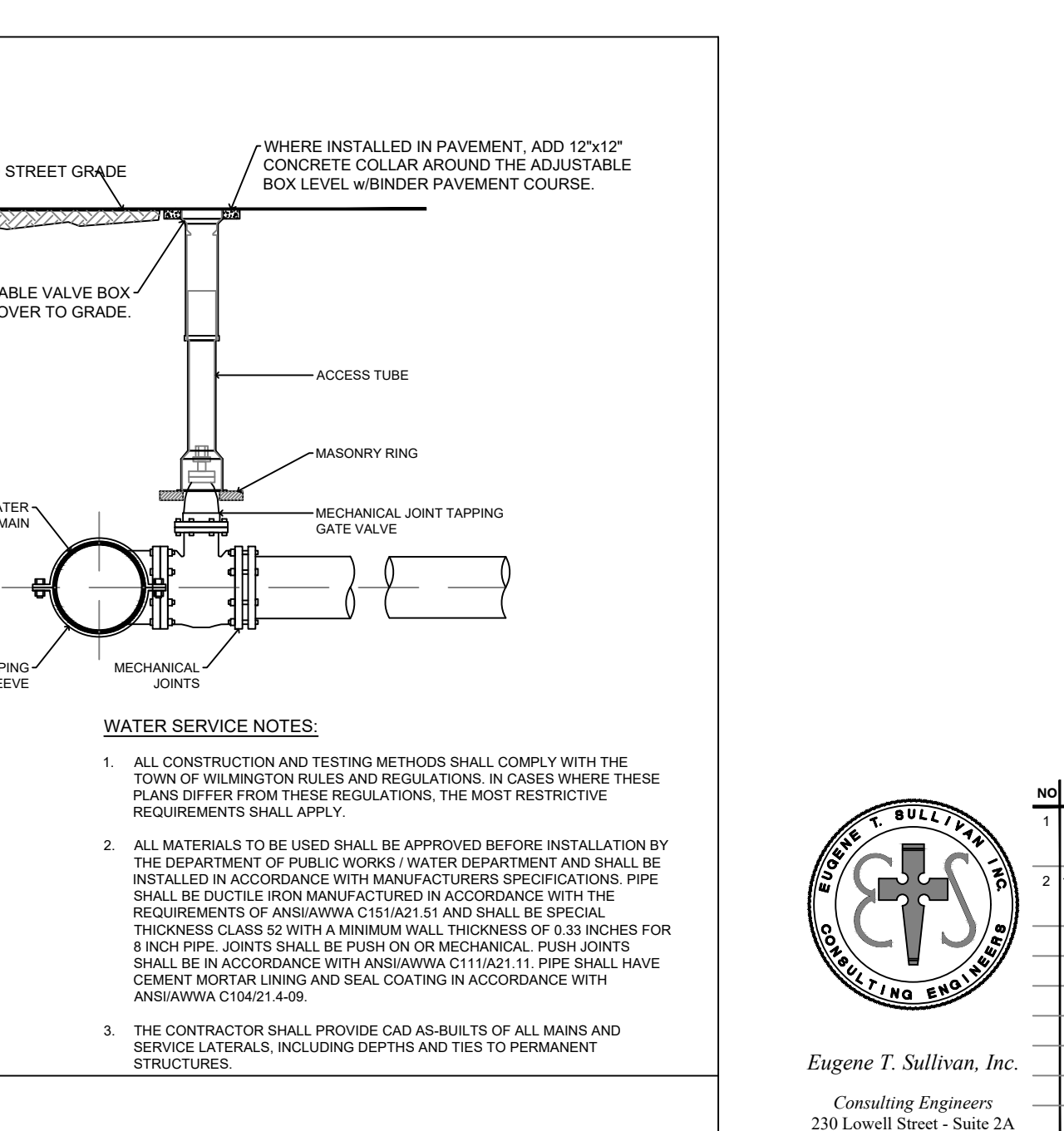
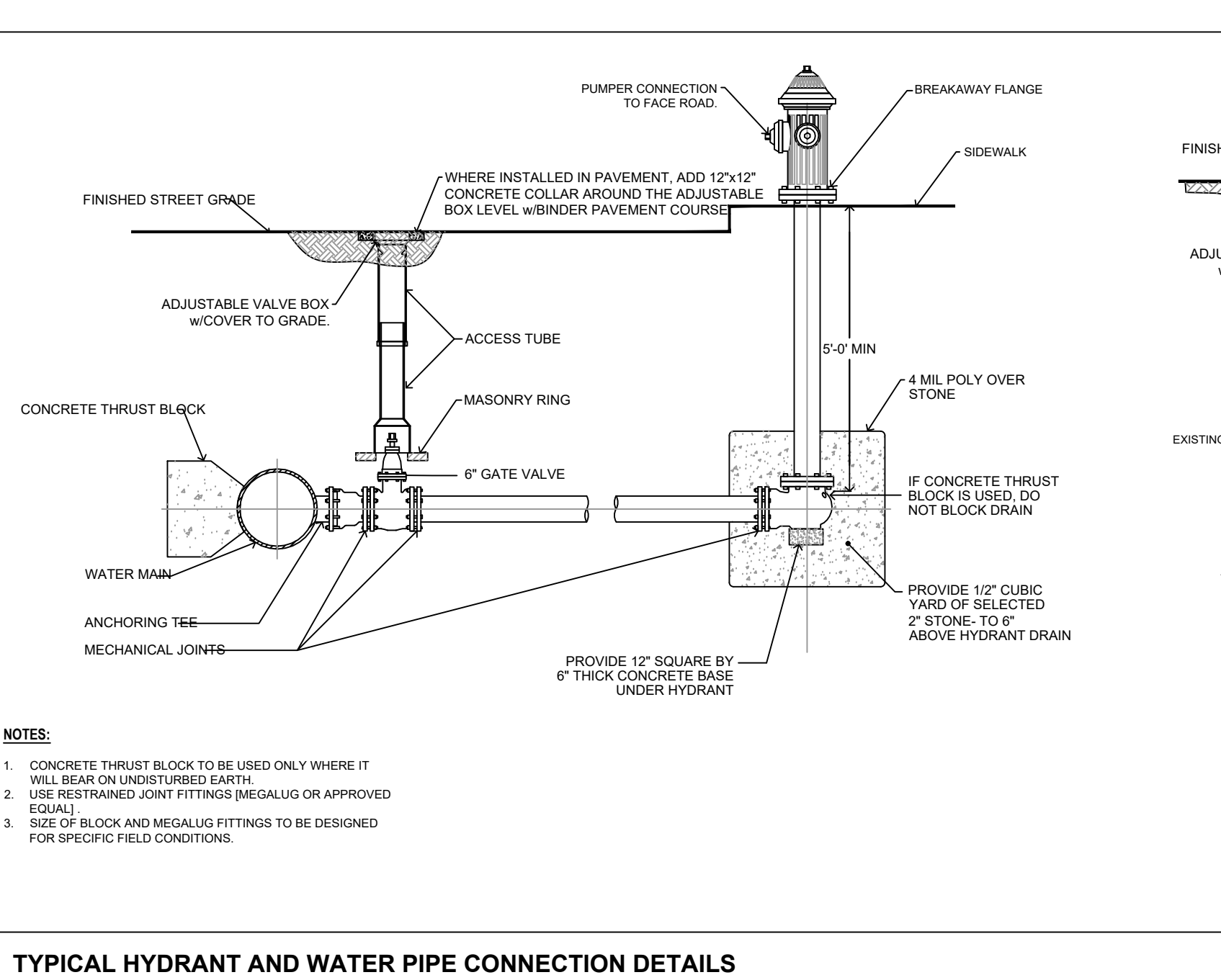
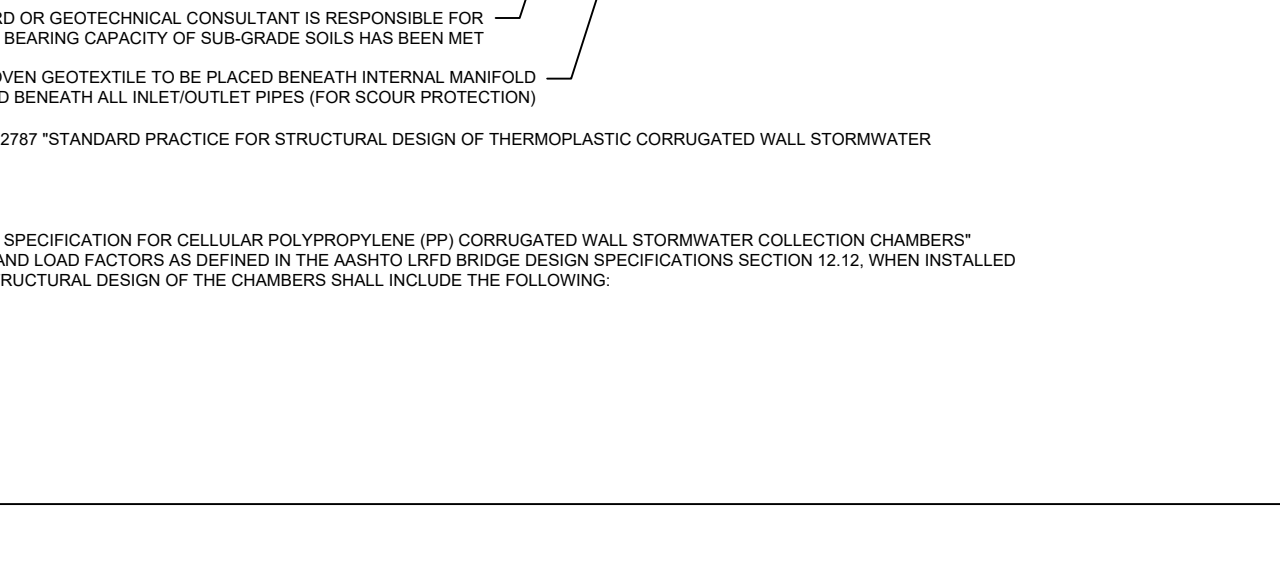
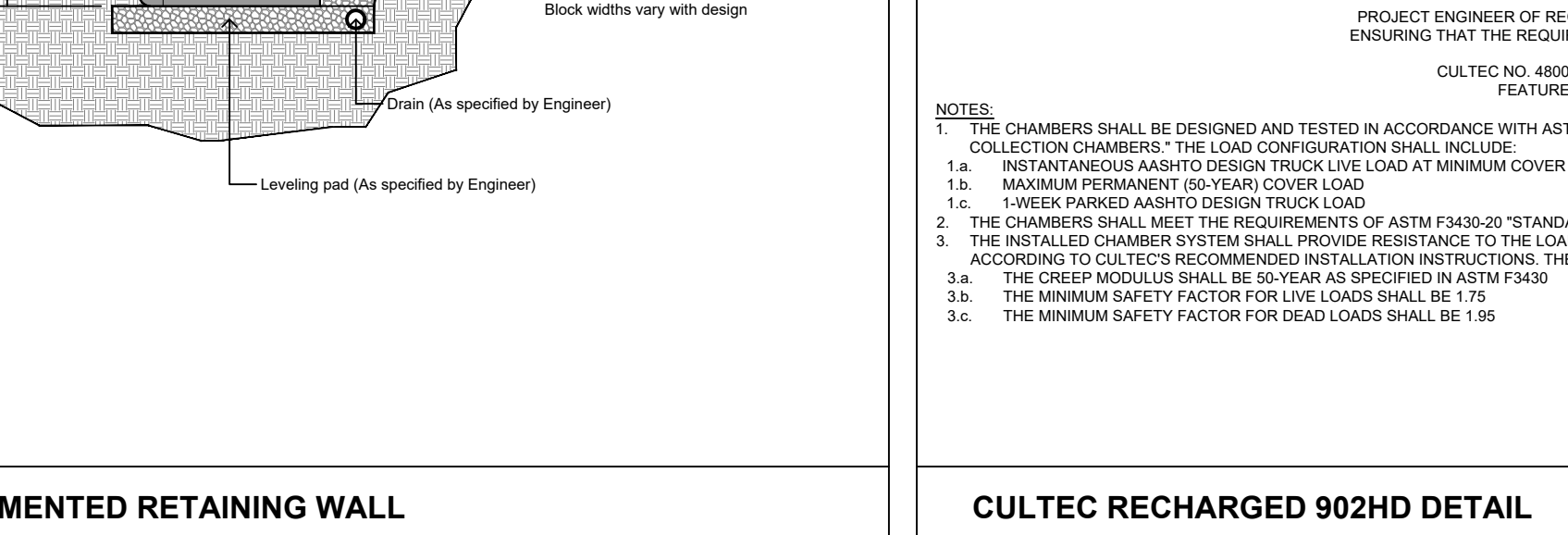
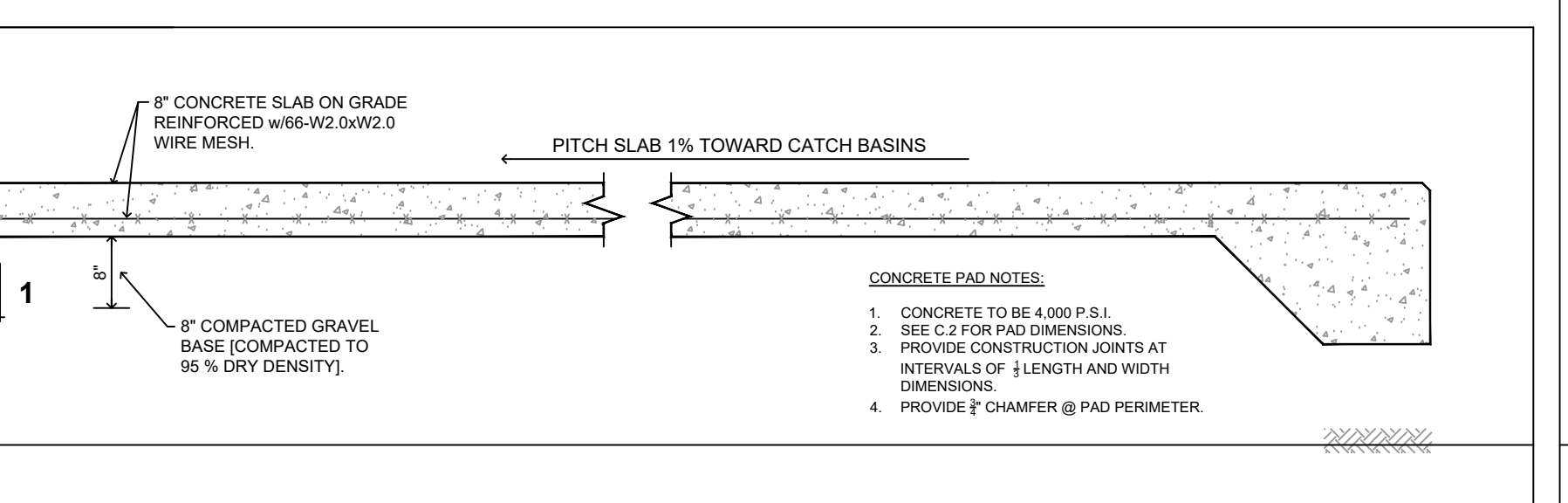
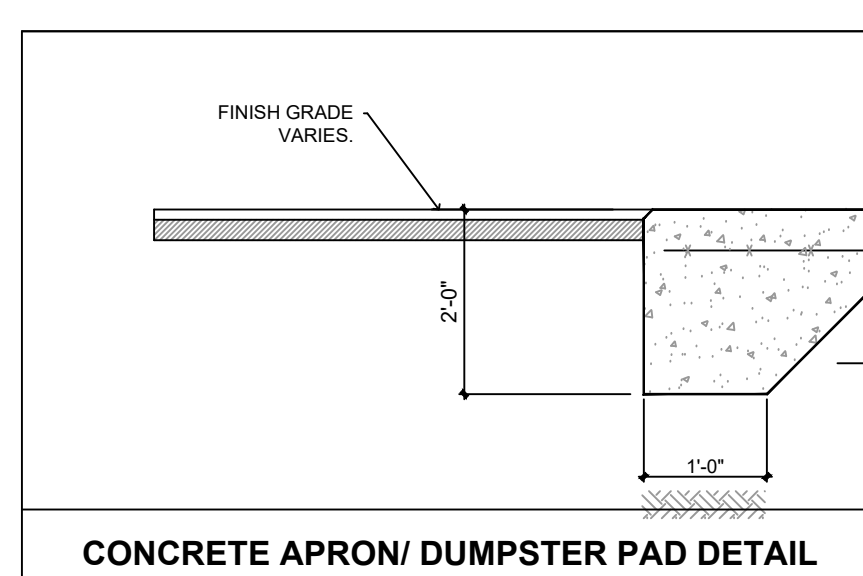
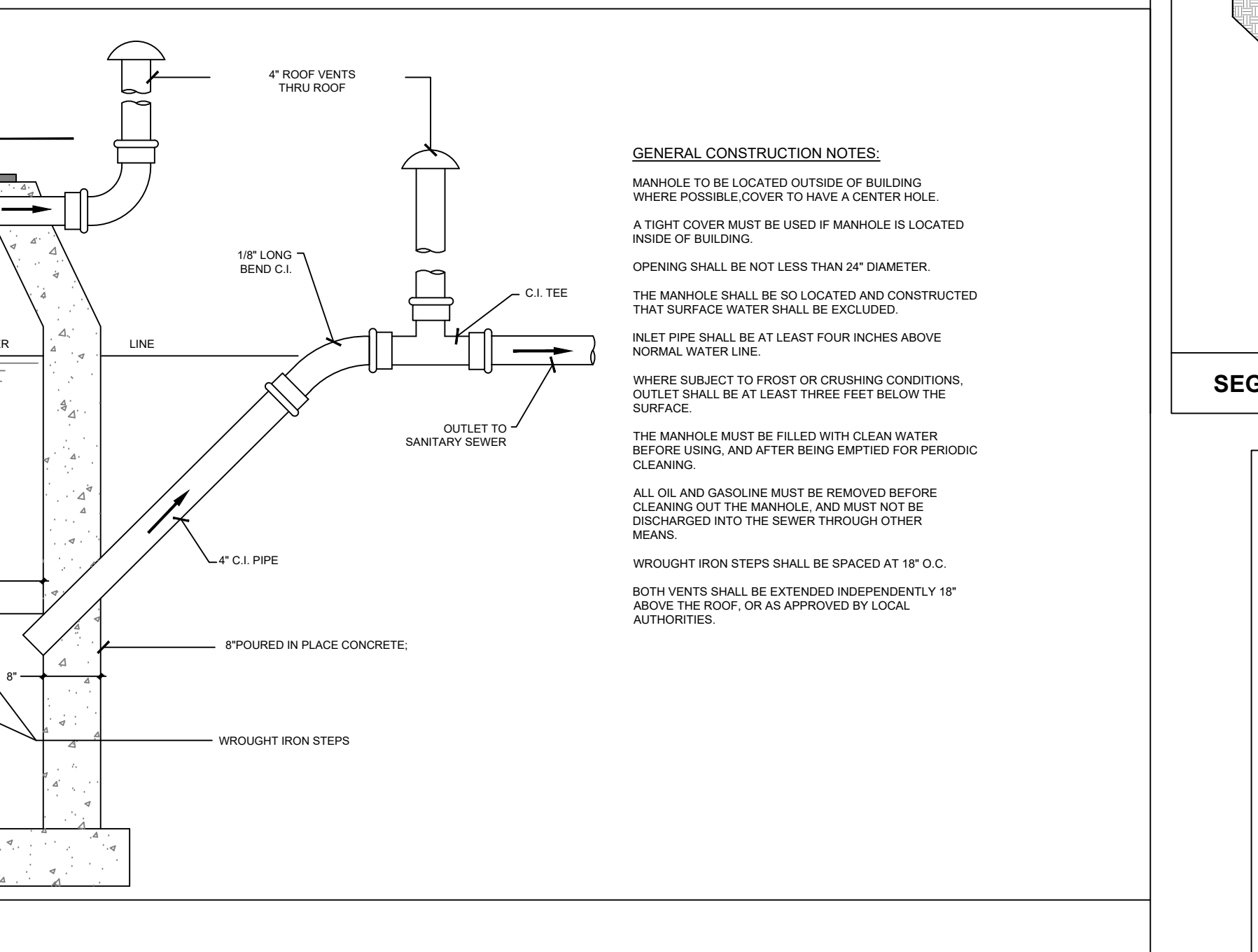
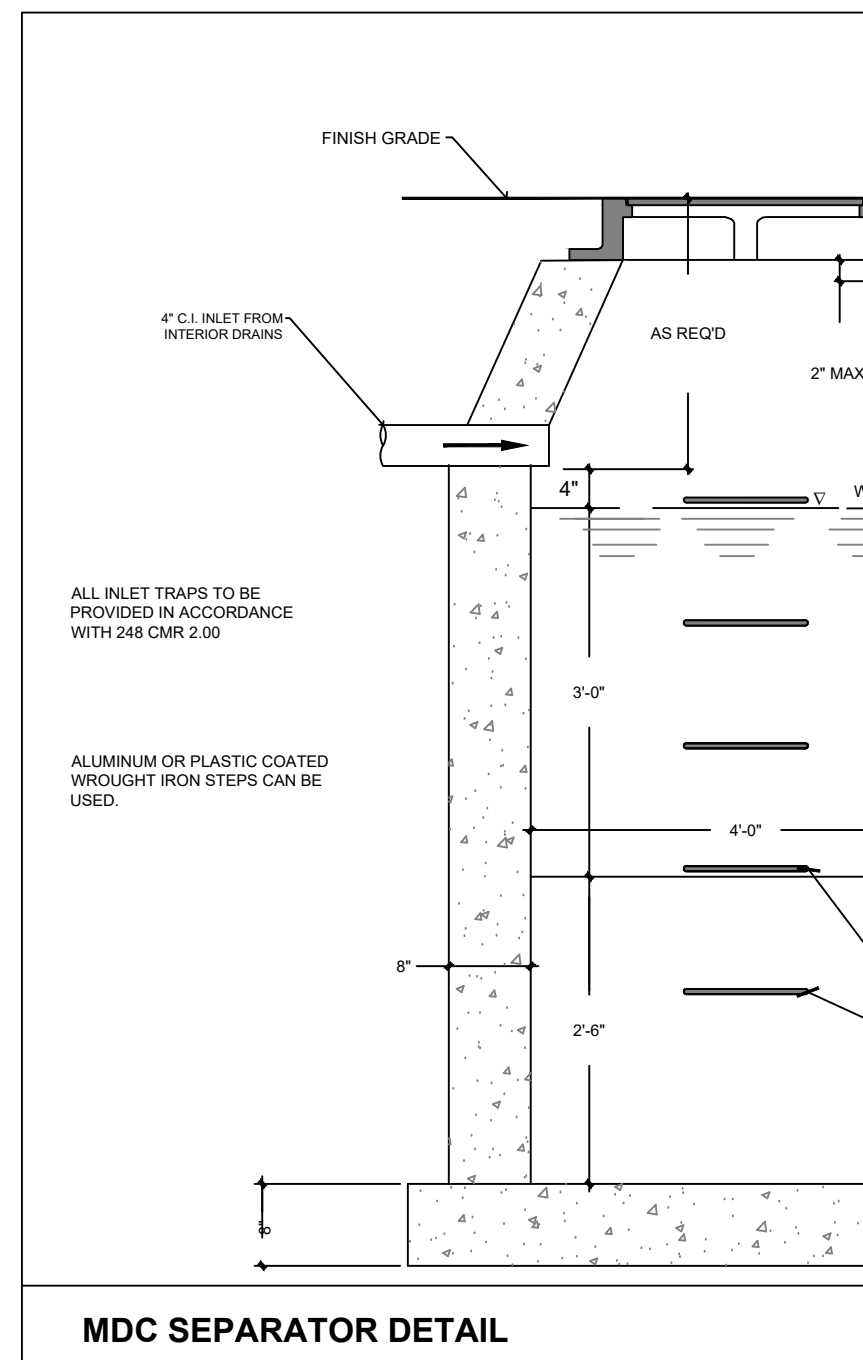
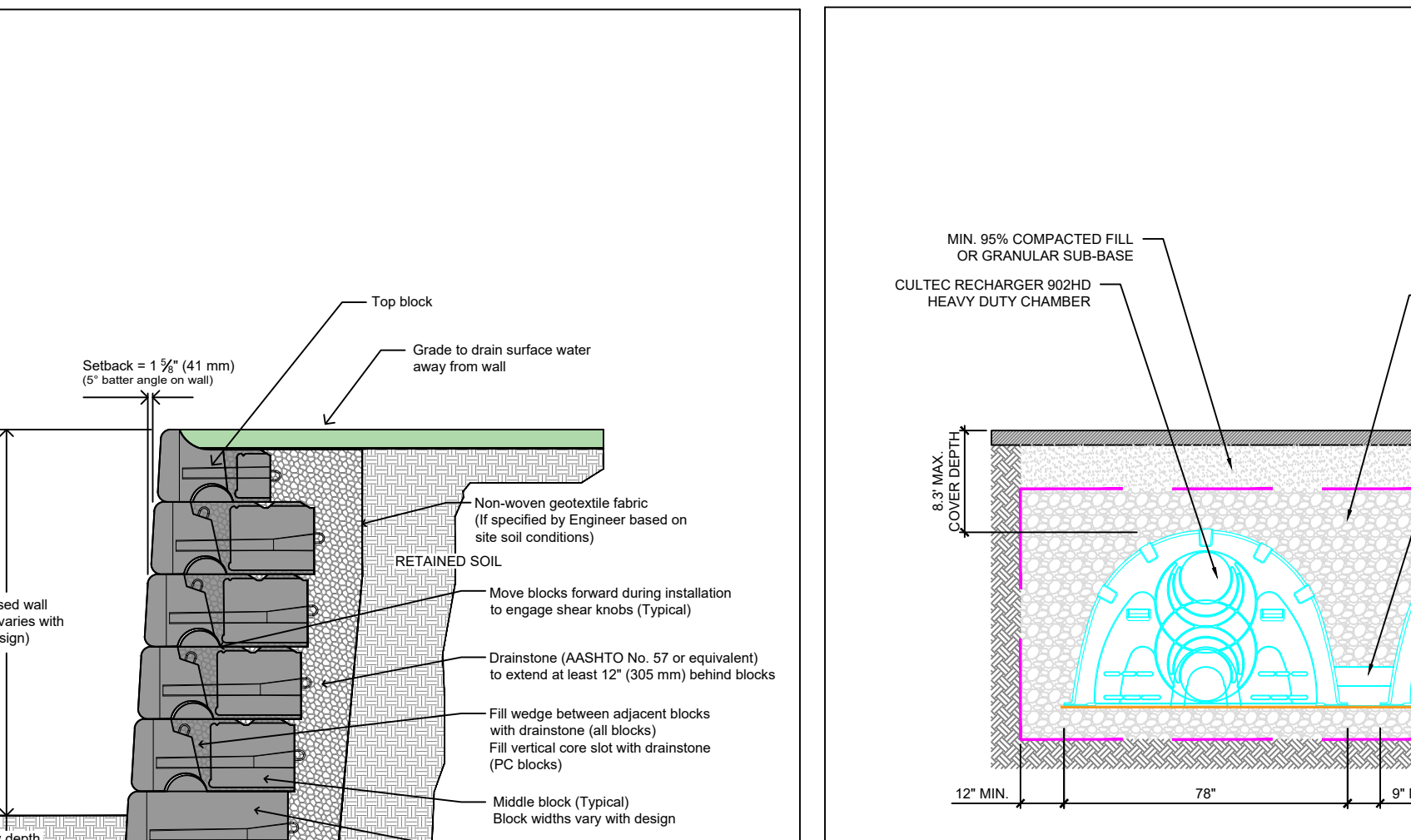
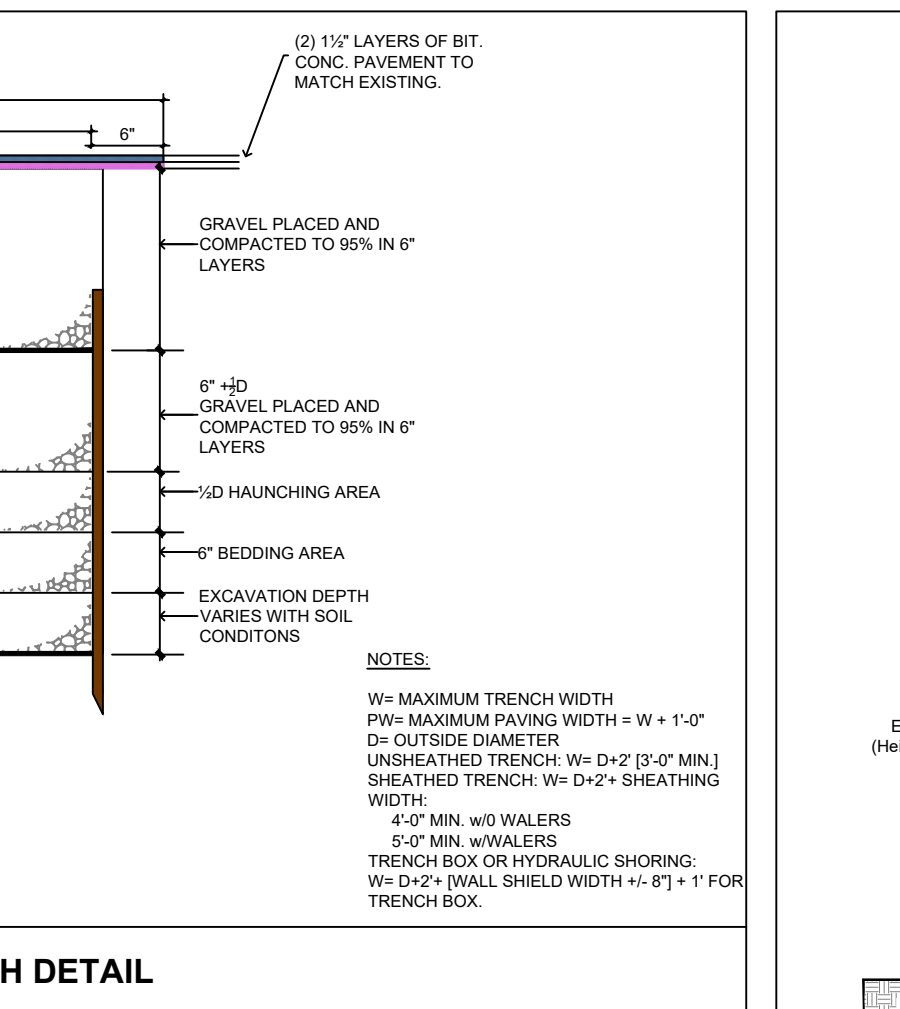
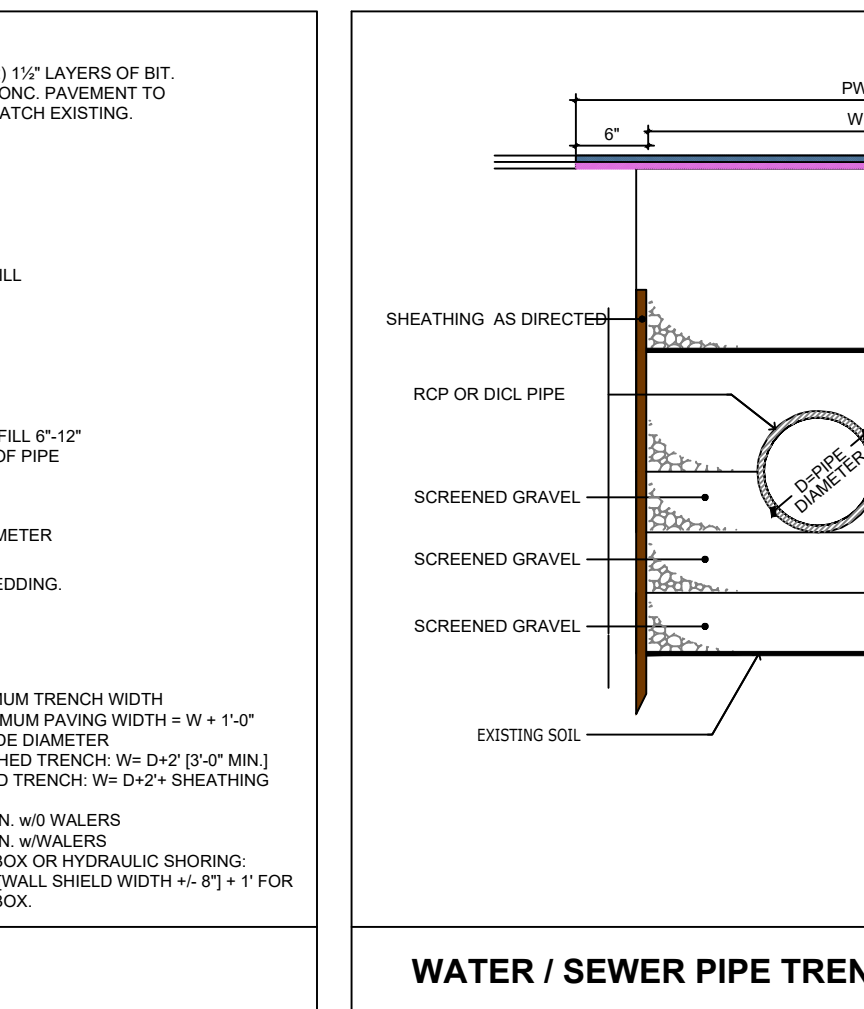
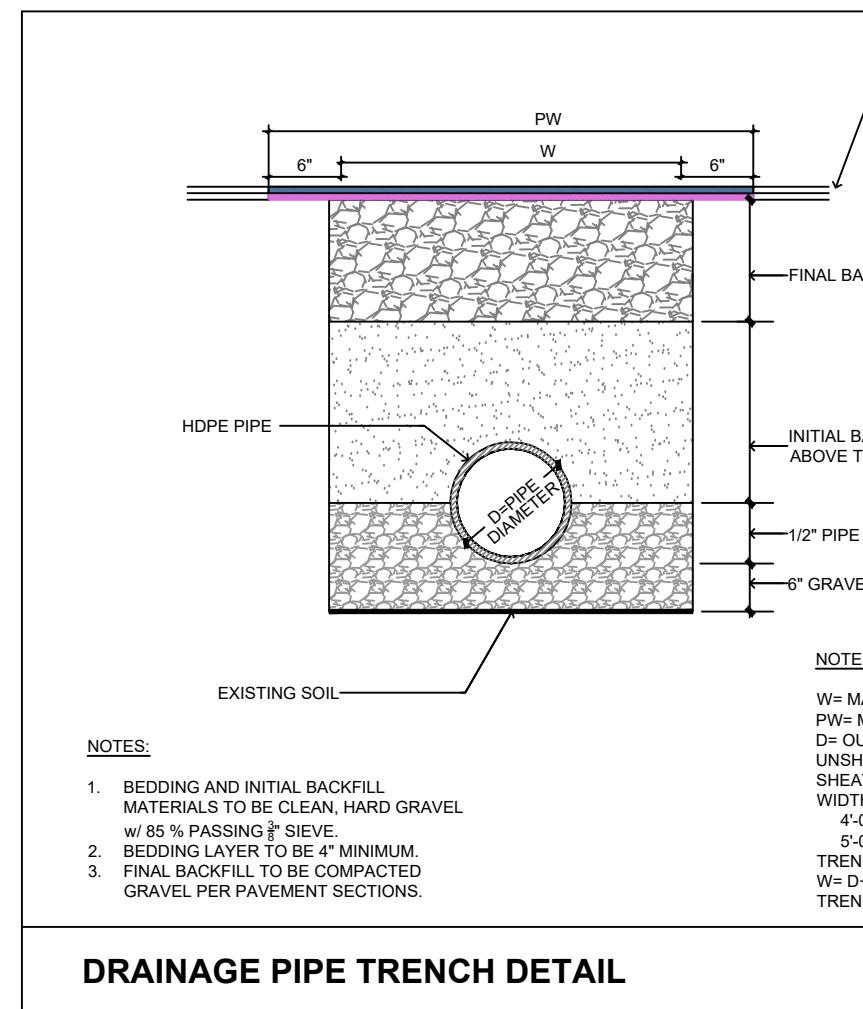
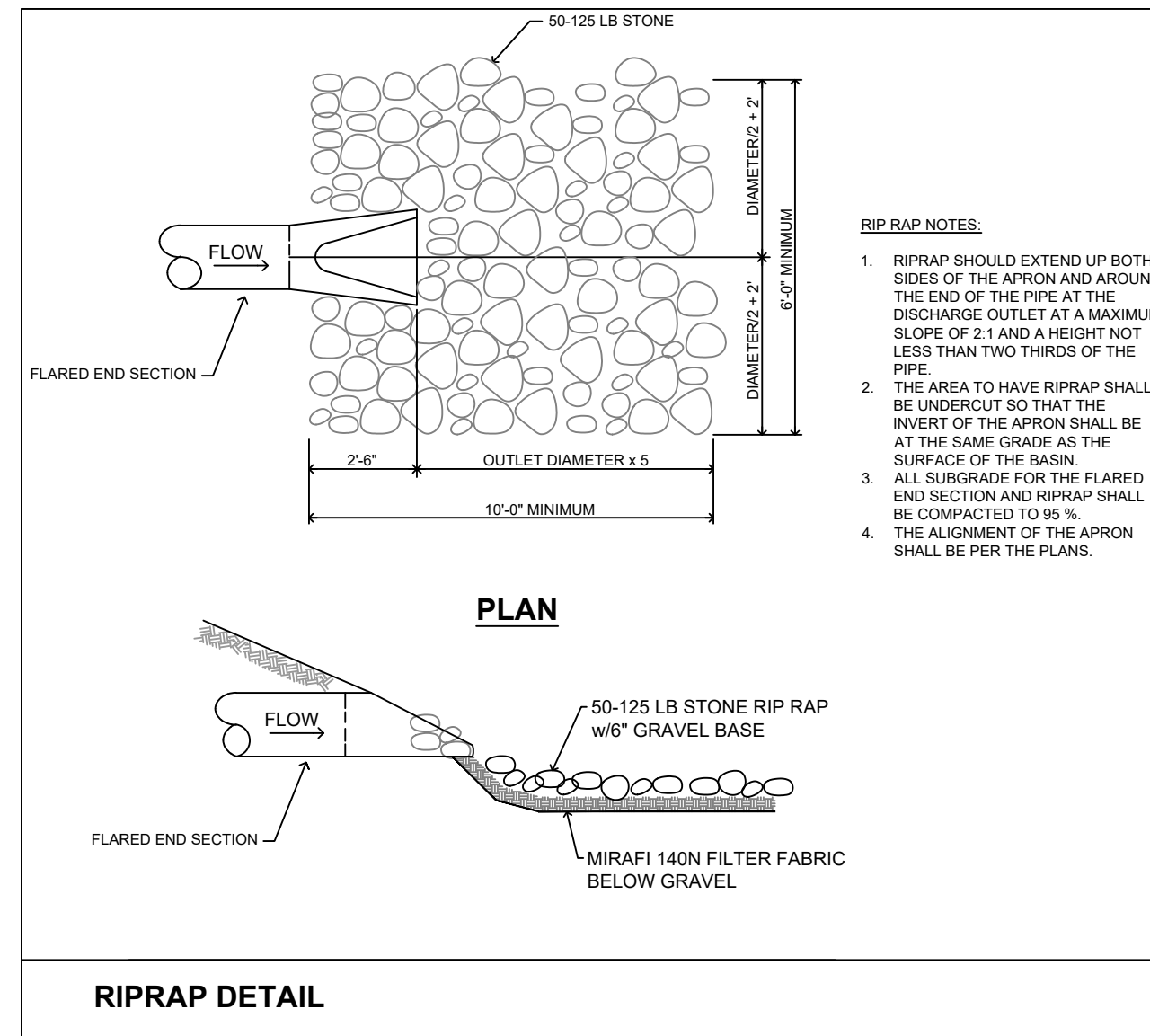
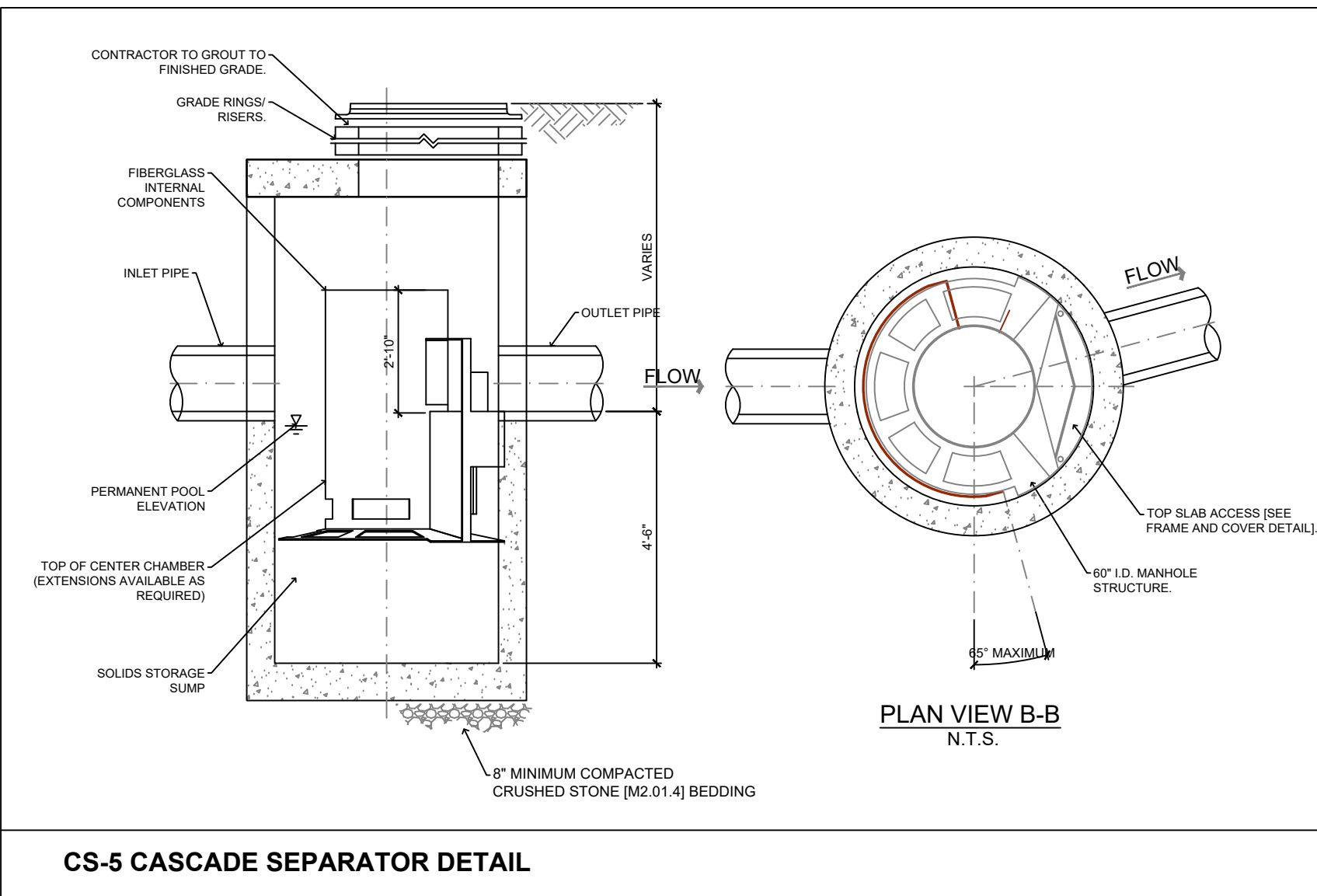
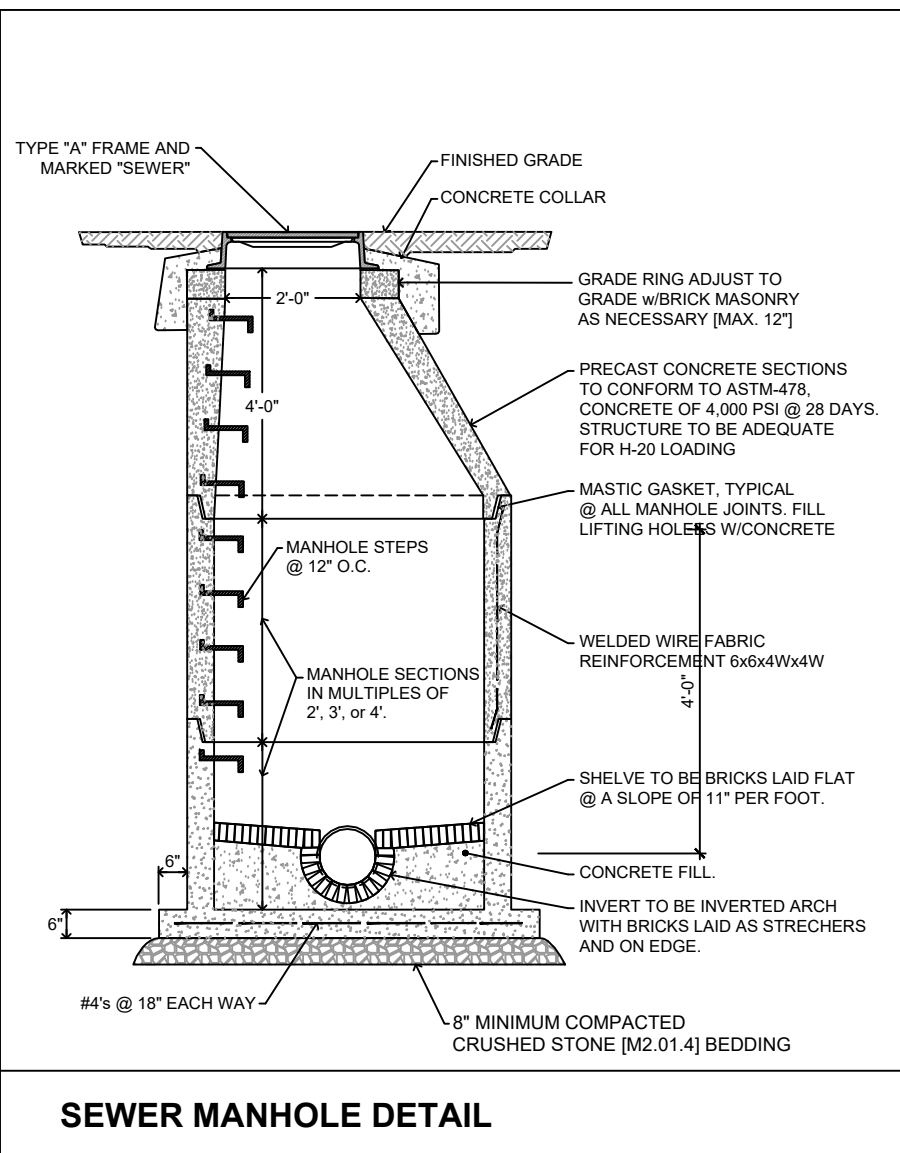
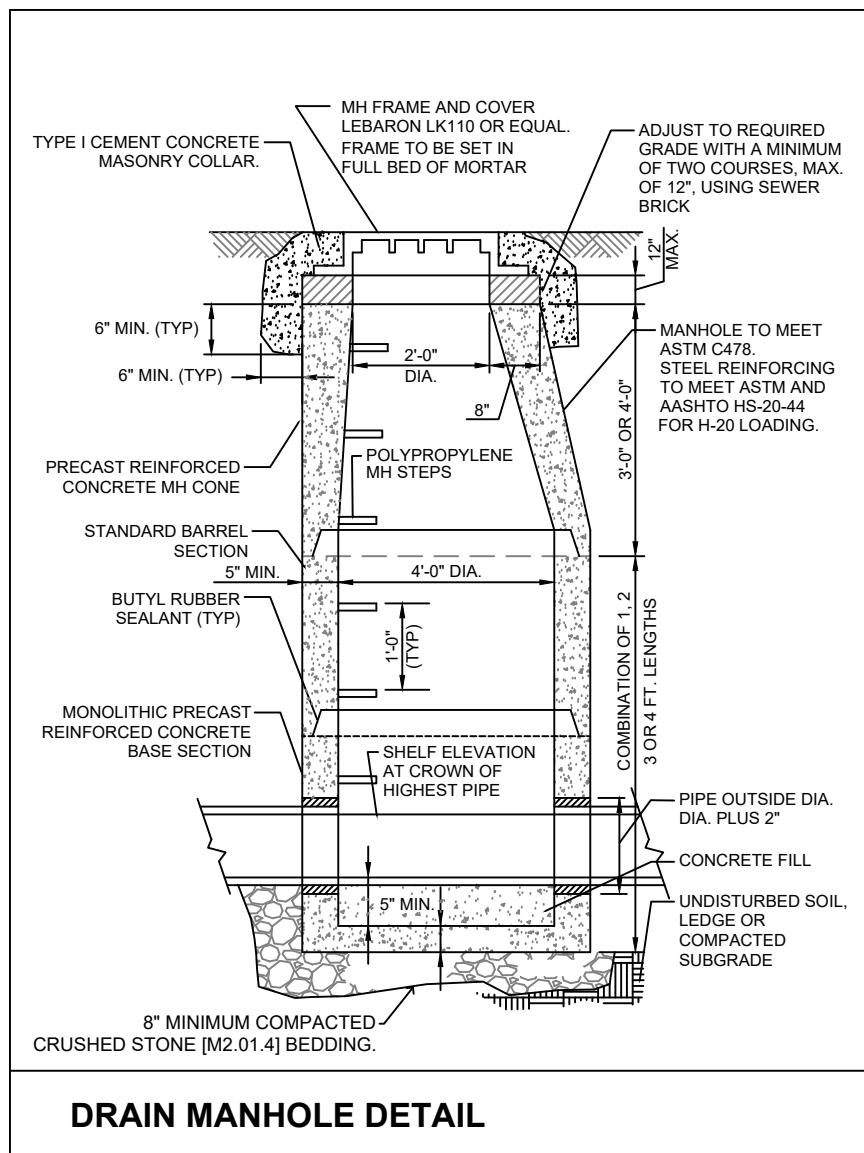
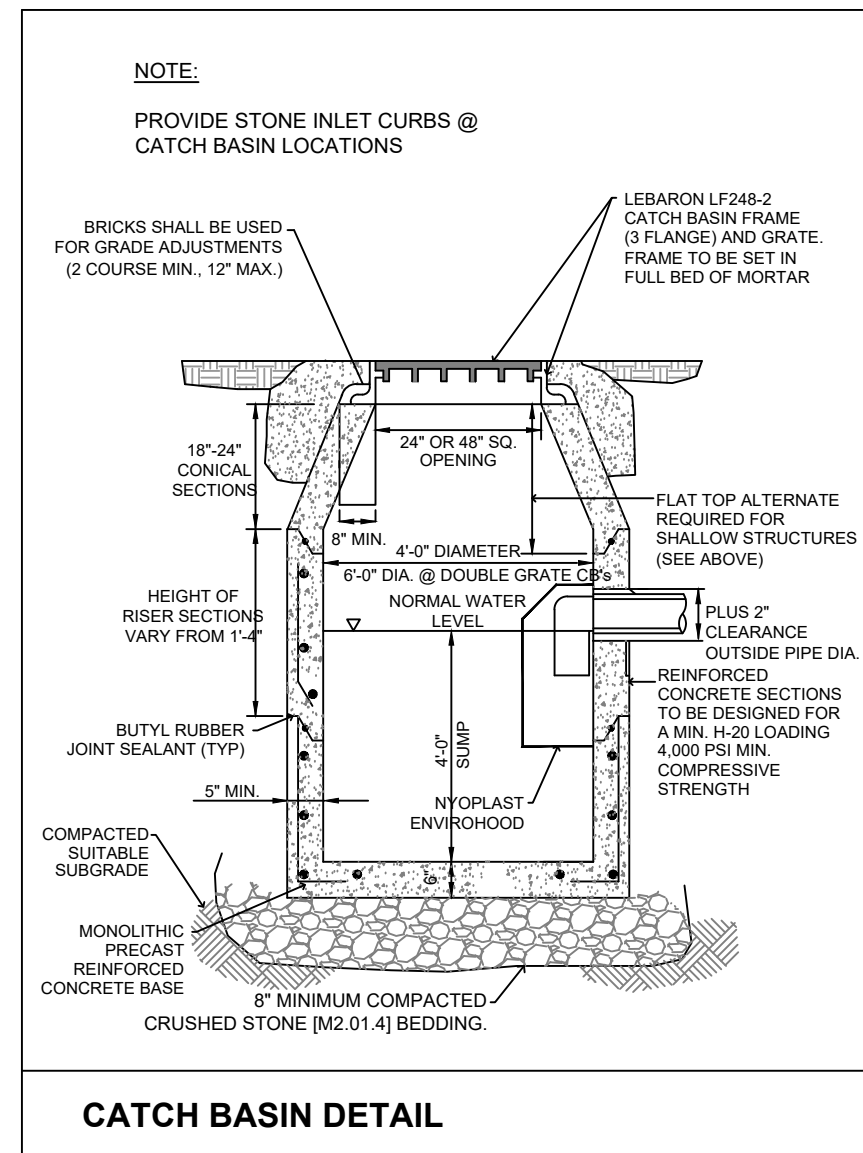
Eugene T. Sullivan, Inc.
Consulting Engineers
230 Lowell Street - Suite 2A
Wilmington, MA 01887
Phone: 978.657.6469
Fax: 978.673.8963
Email: etspc@outlook.com

REVISIONS

NO.	DATE	REVISIONS
1	4/20/22	REVISIONS FOR SUPPLEMENTAL PLING
2	10/12/22	REVISIONS TO ADDRESS DEC COMMENTS

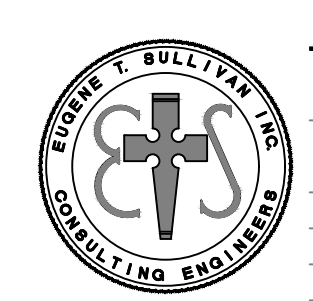
REGISTRATION SEAL:
EUGENE T. SULLIVAN
CIVIL
No. 45737
REGISTERED PROFESSIONAL ENGINEER

C.4.1



APPROVED BY THE DEVENS ENTERPRISE COMMISSION:

DATE: _____



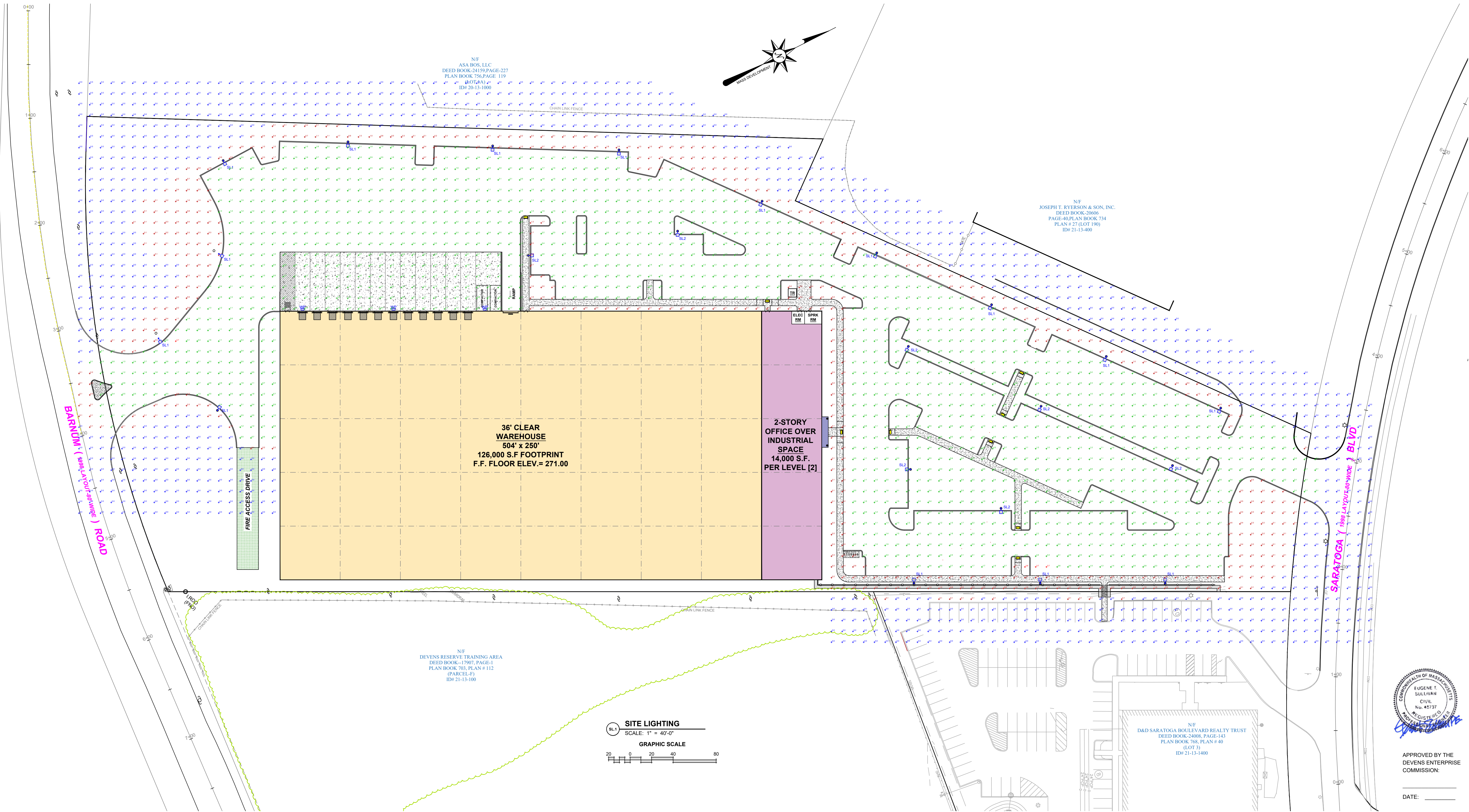
Eugene T. Sullivan, Inc.
Consulting Engineers
230 Lowell Street - Suite 2A
Wilmington, MA 01887
Phone: 978.657.6469
Fax: 978.657.8563
Email: etsps@outlook.com

NO.	DATE	REVISIONS	PREPARED FOR:
1	4/20/22	REVISIONS FOR SUPPLEMENTAL FILING	35 SARATOGA PROPERTY OWNER, LLC 133 PEARL STREET BOSTON, MA
2	10/12/22	REVISIONS TO ADDRESS DEC COMMENTS	

DRAWING:
SITE DETAILS PLAN

SCALE: AS NOTED
DATE: APRIL 6, 2022
DRAWING NUMBER

C.4.2

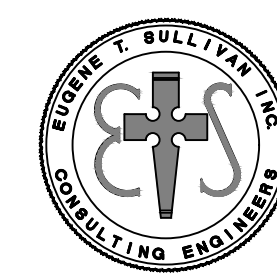


APPROVED BY THE DEVEN'S ENTERPRISE COMMISSION:

DATE: _____

Qty	Label	Manufacturer	Catalog Number	Description	LLF	Input Watts
15	SL1	Lithonia Lighting	DSX1 LED P6 30k BLC MVOLT MOUNTING CONTROL XX FINISH Single Head Pole Mounted @ 25' AFG	SINGLE HEAD POLE USING DSX- T3M OPTIC- 25' MOUNTING	0.9	138
7	SL2	Lithonia Lighting	DSX1 LED P6 30k T3M MVOLT MOUNTING CONTROL XX FINISH Single Head Pole Mounted @ 25' AFG	SINGLE HEAD POLE USING DSX- T3M OPTIC- 25' MOUNTING	0.9	138
3	WP	Lithonia Lighting	WDGE3 LED P3 70CRI R4 30k	WDGE3 LED WITH P3- PERFORMANCE PACKAGE, 3000k, 70 CRI, TYPE 4 OPTIC	0.9	72

NOTE: ALL FIXTURES TO BE FULL CUTOFF AND DARK, EARTH TONE COLOR



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Email: etspe@outlook.com

NO	DATE	REVISIONS
1	4/20/22	REVISIONS FOR SUPPLEMENTAL FILING
2	10/12/22	REVISIONS TO ADDRESS DEC COMMENTS

PREPARED FOR:
35 SARATOGA PROPERTY OWNER, LLC
133 PEARL STREET
BOSTON, MA

PROJECT:
PROPOSED BUILDING AVANTOR FLUID HANDLING
35 SARATOGA BOULEVARD
DEVENS, MA

DRAWING:
SITE LIGHTING PLAN

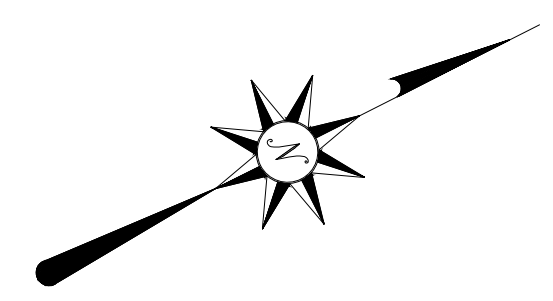
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DATE: APRIL 6, 2022
DRAWING NUMBER

SL.1

Plant Schedule

Qty	Key	Botanical Name	Common Name	Size
TREES:				
9	ASH	Fraxinus americana	White Ash	3"cal
5	CEL	Celtis occidentalis	Hackberry	3"cal
18	ELM	Ulmus americana 'Princeton'	Princeton Elm	3"cal
16	HL	Gleditsia triacanthos 'Skyline'	Honeylocust	3"cal
7	RO	Quercus rubra	Red Oak	3"cal
13	SYC	Platanus occidentalis	American Sycamore	3"cal
EVERGREENS:				
16	AHO	Ilex opaca	American Holly	5-6'
1	BF	Abies balsamea	Balsalm Fir	7-8'
34	ERC	Juniperus virginiana	Eastern Red Cedar	6-7'
55	PAV	Thuja occidentalis 'Pyramidalis'	Pyramidal Arborvitae	6-7'
SHRUBS:				
17	ARO	Aronia arbutifolia	Brilliant Chokeberry	2-3'
65	CL	Clethra alnifolia	Sweet Pepper	2-3'
48	COMP	Comptonia peregrina	Sweetfern	18-24"
10	FOTH	Fothergilla gardenii	Dwarf Fothergilla	2-3'
59	GLS	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	18-24"
41	IG	Ilex glabra 'Shamrock'	Shamrock Inkberry	2-2.5'
30	RTD	Cornus alba 'Elegantissima'	Variegated Red Twig Dogwood	18-24"
5	SYM	Symphoricarpos albus	Snowberry	2-3'
GRASSES/GROUNDCOVERS:				
30	BE	Arctostaphylos uva 'Ursi'	Bearberry	1gal
6	PAN	Panicum virgatum	Switchgrass	2gal

NOTE:
Planting shall conform to the minimum requirements of 974 CMR 3.04 8.(c)(5).



REVISIONS

NO.	DATE	DESCRIPTION

Proposed Building
35 Saratoga Boulevard
Devens, MA

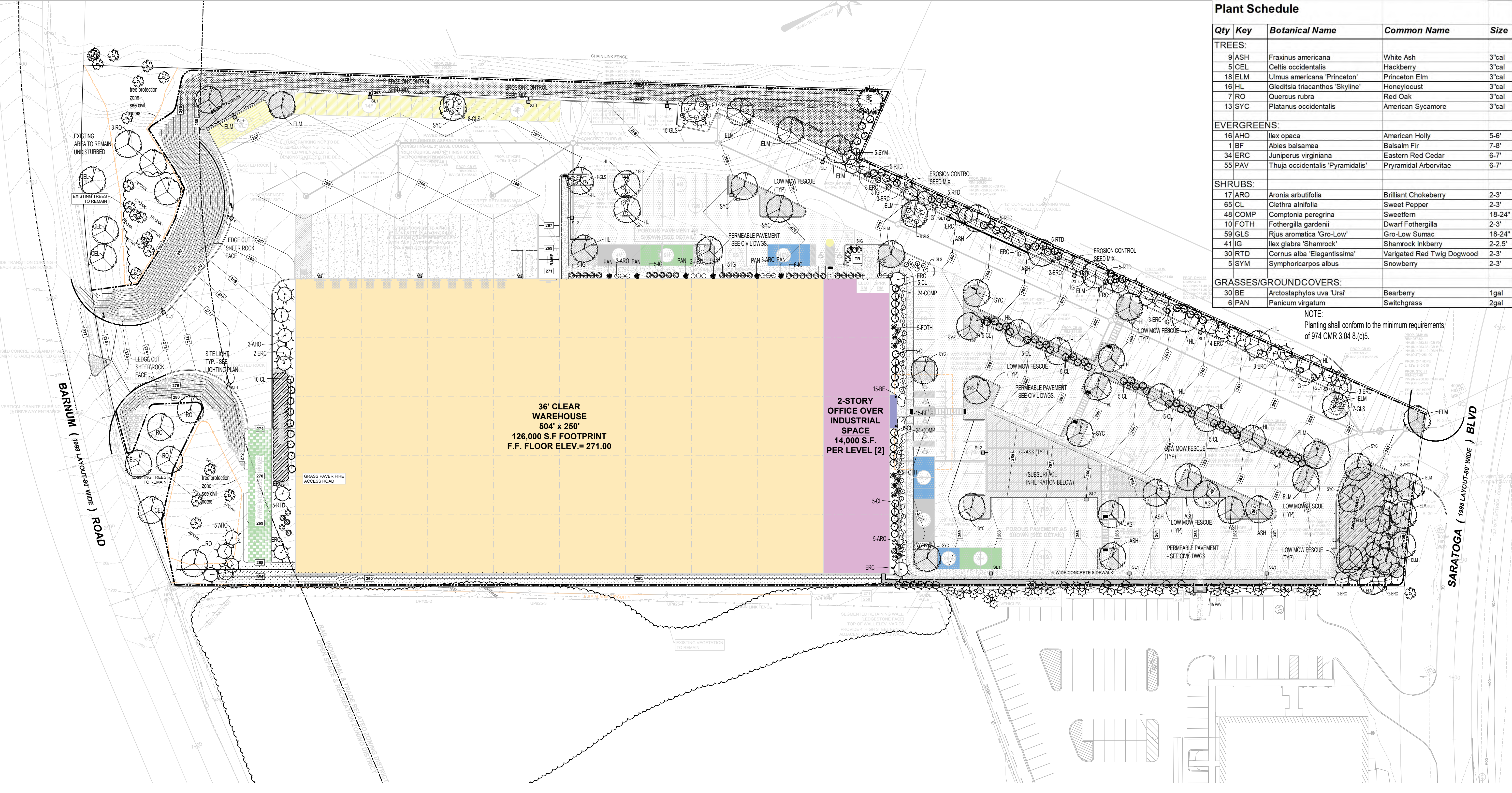
Landscape Plan



james k. emmanuel | associates
LANDSCAPE ARCHITECTS
22 Carlton Rd.
Marblehead, MA 01945
tel. (781) 622-7487
james@jamesemmanuel.com
www.jamesemmanuel.com

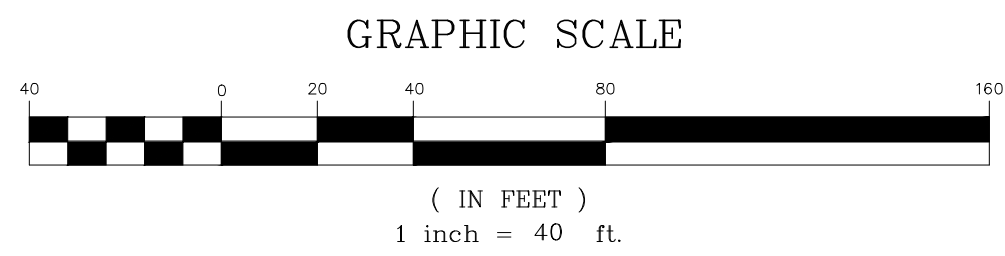
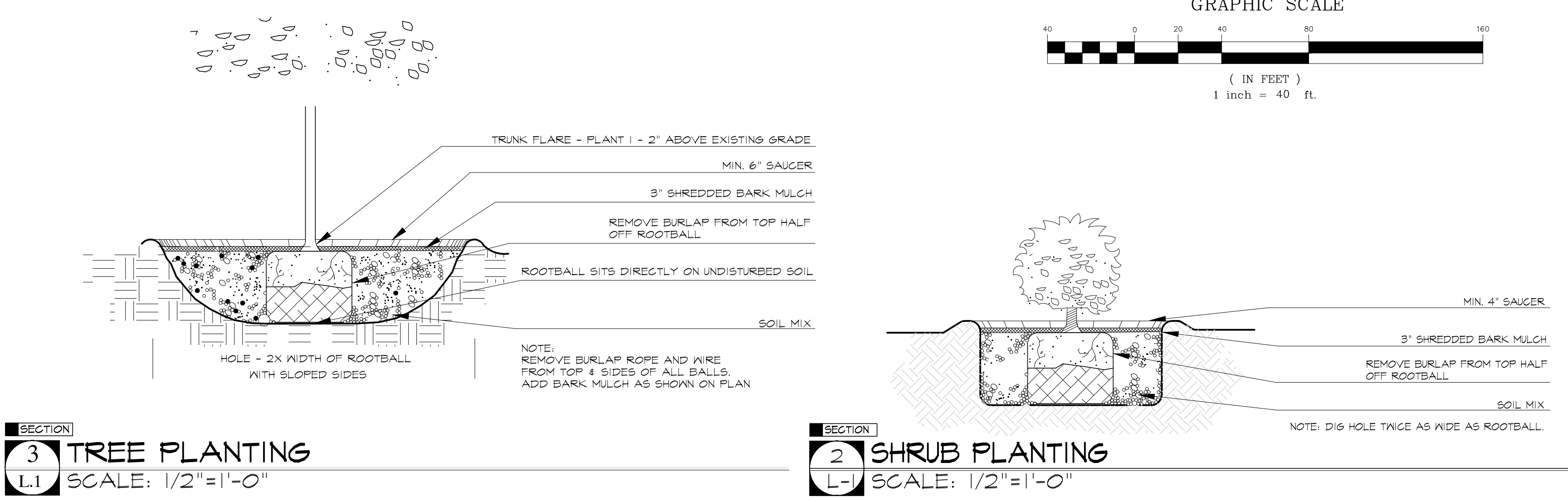
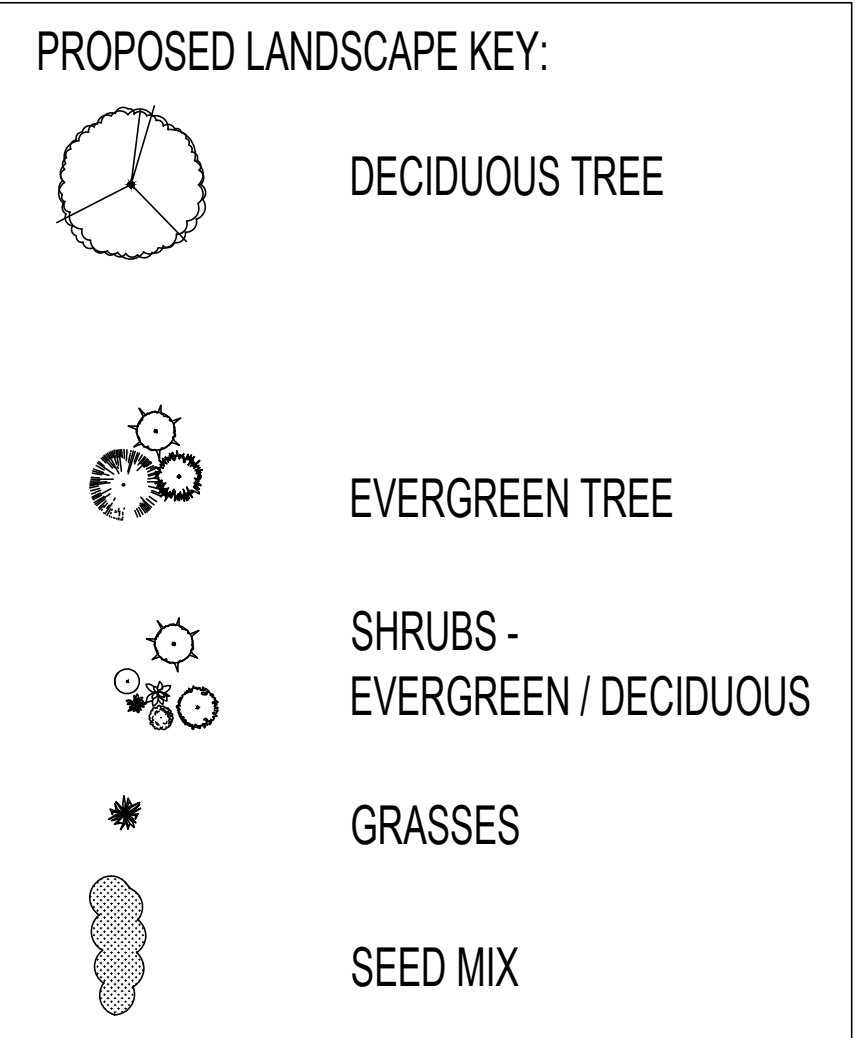
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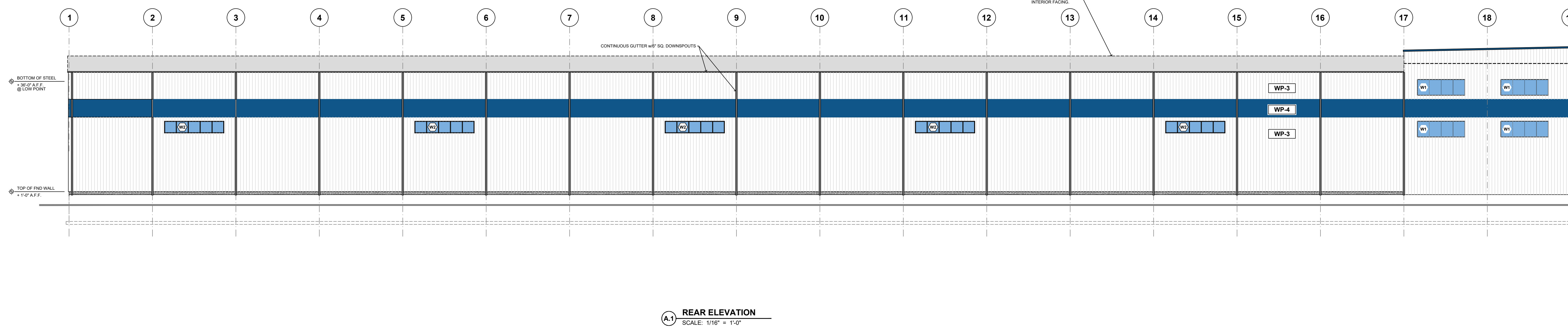
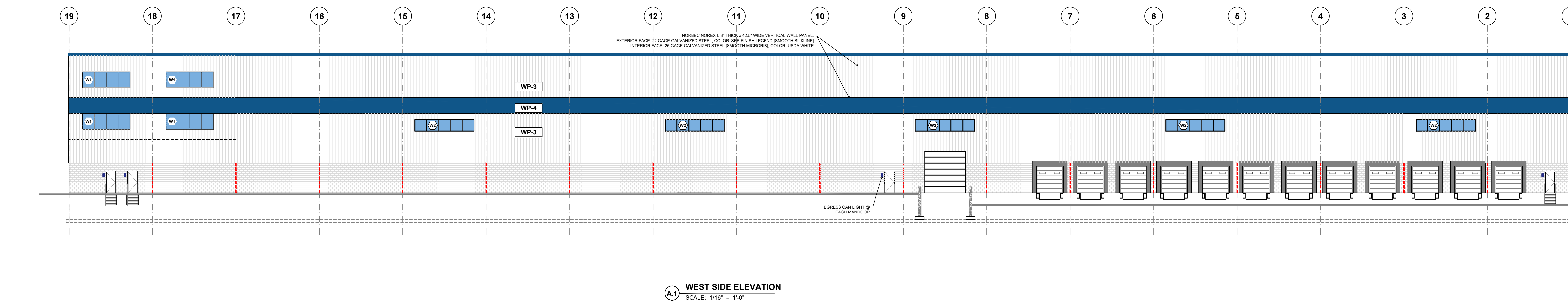
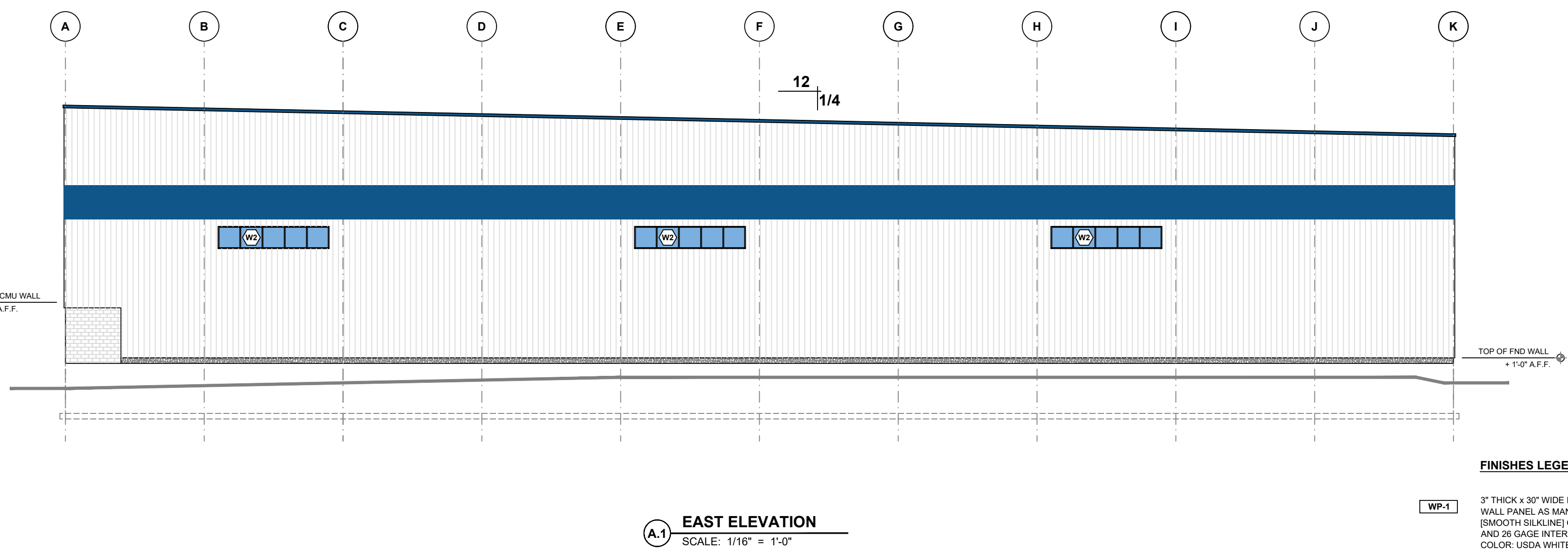
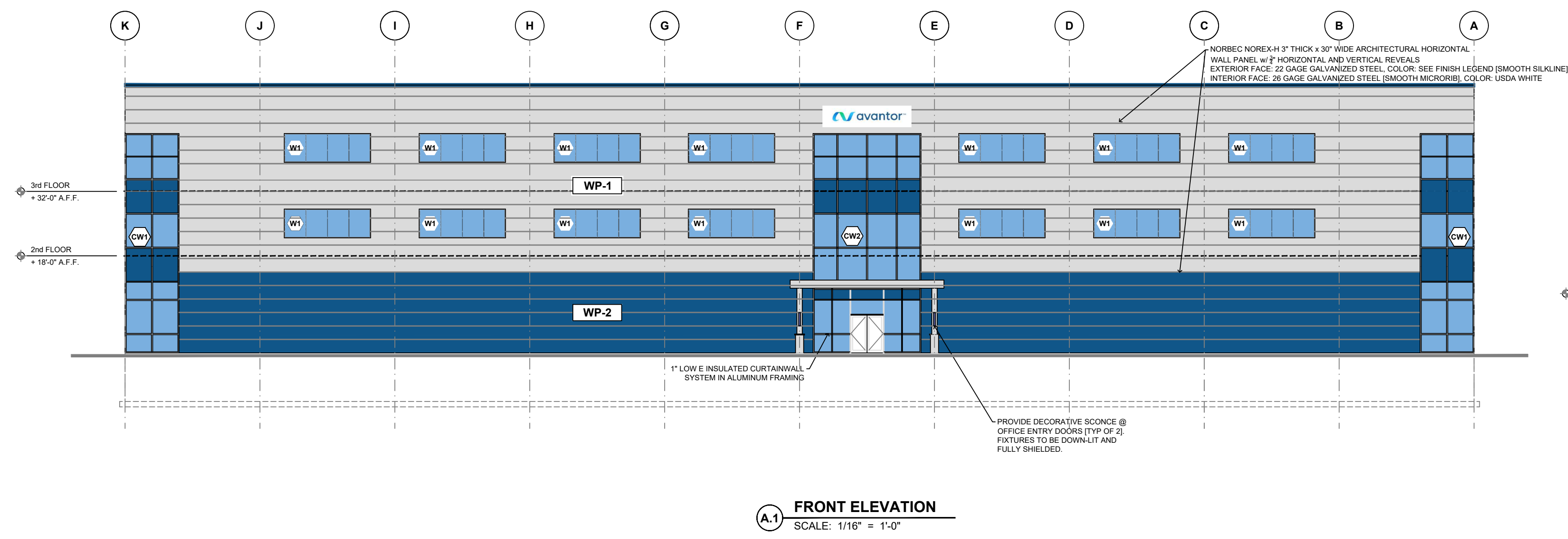
L.1



LANDSCAPE PLAN
SCALE: 1" = 40'

- GRASS:**
- 25% IMPROVED PERENNIAL RYE
 - 25% IMPROVED ANNUAL RYE
 - 25% CREEPING RED FESCUE
 - 16.5% TURF TYPE TALL FESCUE
 - 5% KENTUCKY BLUE GRASS
 - 1% RED TOP
 - 5% COLONIAL BENTGRASS
1. Seed mix rate shall be at 6# per 1000 SF for "Grass" areas.
- LOW MOW FESCUE**
- | PROPORTION | PURITY | CORRECTION |
|-----------------------------|--------|------------|
| MARCO POLO SHEEP FESCUE 25% | 95% | 90% |
| RELIANT IV HARD FESCUE 25% | 95% | 90% |
| VIRKING IV HARD FESCUE 25% | 95% | 90% |
| AZURE SHEEP FESCUE 25% | 95% | 90% |
1. Fescue blend shall be a Fescue mix appropriate for full sun and shade exposure consisting of 4 varieties. The blend shall be from Colonial Seed Co. Windsor, CT or approved equal.
2. Seed mix rate shall be at 4# per 1000 SF for "Low Mow Fescue" areas.
- EROSION CONTROL SEED MIX:**
- SPECIES: Red Fescue (Festuca rubra), Canada Wild Rye (Elymus canadensis), Annual Ryegrass (Lolium multiflorum), Perennial Ryegrass (Lolium perenne), Little Bluestem (Setochloa scoparium), Indian Grass (Sorghastrum nutans), Switch Grass (Panicum virgatum), Upland Bentgrass (Agrostis perennans)
- APPLICATION RATE: 35 lb/acre | 1250 sq ft/lb**
(Erosion control seed mix as provided by New England Wetland Plants or equivalent)





- FINISHES LEGEND:**
- WP-1** 3" THICK x 30" WIDE HORIZONTAL INSULATED METAL NOREX-H WALL PANEL AS MANUFACTURED BY NORBECK. 22 GAGE EXTERIOR (SMOOTH SKULINE) GALVANIZED STEEL, COLOR: BRIGHT SILVER AND 20 GAGE INTERIOR (SMOOTH MICROORB) GALVANIZED STEEL, COLOR: USGA WHITE.
 - WP-2** 3" THICK x 30" WIDE HORIZONTAL INSULATED METAL NOREX-H WALL PANEL AS MANUFACTURED BY NORBECK. 22 GAGE EXTERIOR (SMOOTH SKULINE) GALVANIZED STEEL, COLOR: HERON BLUE AND 20 GAGE INTERIOR (SMOOTH MICROORB) GALVANIZED STEEL, COLOR: USGA WHITE.
 - WP-3** 3" THICK x 42 1/2" WIDE VERTICAL INSULATED METAL NOREX-L WALL PANEL AS MANUFACTURED BY NORBECK. 22 GAGE EXTERIOR (SMOOTH SKULINE) GALVANIZED STEEL, COLOR: BRIGHT SILVER AND 20 GAGE INTERIOR (SMOOTH MICROORB) GALVANIZED STEEL, COLOR: USGA WHITE.
 - WP-4** 3" THICK x 42 1/2" WIDE VERTICAL INSULATED METAL NOREX-L ACCENT WALL PANEL AS MANUFACTURED BY NORBECK. 22 GAGE EXTERIOR (SMOOTH SKULINE) GALVANIZED STEEL, COLOR: HERON BLUE AND 20 GAGE INTERIOR (SMOOTH MICROORB) GALVANIZED STEEL, COLOR: USGA WHITE.
 - CMU-1** 12" REGULAR FACED CONCRETE MASONRY UNITS AS MANUFACTURED BY GENEST.
 - CW-X** GLASS CURTAINWALL AS MANUFACTURED BY KAWNEER. FRAMING COLOR: CLEAR ANODIZED ALUMINUM.
 - WX** GLASS STOREFRONT WINDOWS AS MANUFACTURED BY KAWNEER. FRAMING COLOR: CLEAR ANODIZED ALUMINUM.

- PRE-ENGINEERED BUILDING SPECIFICATIONS:**
1. THE PRE-ENGINEERED BUILDING FOR THIS PROJECT INCLUDES THE STRUCTURAL STEEL SYSTEM, STANDING SEAM METAL ROOF, WALL GIRTS AND PANELS, STEEL FRAMING FOR DOOR AND WINDOW OPENINGS AND ALL REQUIRED TRIMS, FLASHINGS, AND ACCESSORIES FOR A COMPLETE BUILDING PACKAGE.
 2. THE STRUCTURAL DESIGN CRITERIA SHALL BE CONSISTENT WITH THE MASSACHUSETTS STATE BUILDING CODE 9TH EDITION. IN ADDITION TO THE CODE REQUIRED LOADS, THE BUILDING SHALL BE DESIGNED TO SUPPORT AN ADDITIONAL 5 PSF COLLATERAL LOAD FOR MECHANICAL SYSTEMS AND 5 PSF FOR FUTURE SOLAR LOADING.
 3. MEZZANINE FLOOR LOADS TO BE DESIGNED TO SUPPORT 100 PSF LIVE LOAD.
 4. ALL STRUCTURAL STEEL TO BE SHOP PRIMED GREY.
 5. ROOF PANELS TO BE 24 GAGE GALVALUME w/ GALVALUME FINISH.

- INSULATED PANEL NOTES:**
1. IMP CONTRACTOR TO PROVIDE SHOP DRAWINGS DETAILING ALL CONNECTIONS TO CONCRETE FOUNDATION, MASONRY WALLS AND STRUCTURAL FRAME.
 2. PANEL SPANS TO BE DESIGNED TO RESIST WIND LOADS AS REQUIRED BY THE MASSACHUSETTS STATE BUILDING CODE.
 3. THE PANELS SHALL BE ONE-PIECE FROM FOUNDATION TO THE BUILDING EAVE.
 4. ALL PANEL CONNECTIONS AND DETAILS TO BE CONSISTENT WITH THE REQUIREMENTS OF THE MANUFACTURER.
 5. ALL PANEL JOINTS TO BE DOUBLE OFFSET TONGUE AND GROOVE TYPE w/ CONCALED FASTENERS.
 6. ALL PANEL JOINTS TO BE CALKED FULL HEIGHT.

- EXTERIOR FINISH NOTES:**
1. ALL MECHANICAL LOUVERS AND EXTERIOR INSULATED STEEL DOORS, OVERHEAD DOORS TO BE FACTORY FINISHED BRUSHED ALUMINUM.
 2. ALL EXTERIOR SEALANT TO MATCH ADJACENT MATERIALS.
 3. ALL FIRE CONNECTIONS ON THE EXTERIOR OF THE BUILDING TO BE POLISHED CHROME.

- MASONRY NOTES:**
1. ALL CONCRETE MASONRY UNIT (CMU) CONSTRUCTION SHALL CONFORM TO THE BUILDING CODE FOR MASONRY STRUCTURES AND TO "SPECIFICATIONS FOR MASONRY STRUCTURES".
 2. CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90 OR C-115 GRADE N-1. THE MORTAR SHALL CONFORM TO ASTM C-270, TYPE M OR S. GROUT SHALL CONFORM TO ASTM C-476 FINE OR COARSE.
 3. BOND BEAM REINFORCING SHALL BE EXTENDED INTO AND BE CONTINUOUS WITH ALL INTERSECTING BOND BEAMS.
 4. PLACE VERTICAL REINFORCING BARS AS SHOWN ON THESE DRAWINGS IN BLOCK CELLS. ALL CELLS CONTAINING VERTICAL REINFORCEMENT SHALL BE GROUTED SOLID.
 5. PROVIDE #6 GAGE WIRE LADDER TYPE JOINT REINFORCEMENT @ 16" O.C. HORIZONTALLY.
 6. PROVIDE WATERPROOFING COATING (T.B.D.) TO ALL EXPOSED MASONRY SURFACES.



APPROVED BY THE
DEVENS ENTERPRISE
COMMISSION:

DATE: _____

NO.	DATE	REVISIONS
1	10/19/22	REVISIONS TO ADDRESS DEC COMMENTS

PREPARED FOR:
35 SARATOGA PROPERTY OWNER, LLC
133 PEARL STREET
BOSTON, MA

PROJECT:
PROPOSED BUILDING AVANTOR FLUID HANDLING
35 SARATOGA BOULEVARD
DEVENS, MA

DRAWING:
BUILDING ELEVATIONS

SCALE: 1/16" = 1'-0"
DATE: APRIL 20, 2022
DRAWING NUMBER: **A.1**

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